

Chapter 4 – Unit Improvements - Whole House

4.1 Unit Improvements Overview

The purpose of this chapter is to examine existing Unit Types at Holloman AFB and to provide recommendations and estimates for improving these units to Whole House standards. This improvement focus provides a basis for later considering whether replacement of partial or whole neighborhoods should be considered as options at Holloman AFB. Replacement options are separately examined and estimated in Chapter 5.

Organization

The Unit Improvement Analysis and Recommendations are presented in the following sections:

Section 4.1 provides general guidelines for energy efficient and barrier free design. Units that are candidates for or listed on the National Register of Historic Buildings are noted and force protection issues specific to Holloman AFB are itemized. Finally, the basis for Unit CAMs and Cost Estimates are provided.

Section 4.2 provides Unit Grade Mix Plans in map form to indicate the current and recommended distribution of units by grade and bedroom. These Grade Mix Plans illustrate in graphic form the recommendations provided in tabular form in Section 4.5.2, Existing and Proposed Unit Grade.

Section 4.3 provides analyses and recommendations based on interviews with Base Engineering and Housing and unit CAMs that were populated during the Field Survey. Recommendations are intended to foster a sense of identification and belonging with the home, street, and

neighborhood for each family, and to make the housing areas attractive and a source of pride. Implementation of recommendations will provide families with homes and communities that are comparable in design and amenity with current private-sector housing, and which offer:

- A sense of neighborhood identity through compatible housing styles, architectural features, and landscape development.
- A sense of “Pride of Place” for each resident in the community.
- Dwelling units with functional spaces of adequate size to meet today’s Air Force living standards
- Units with an additional 20 to 30 years of useful life.
- Units which meet all allowances in accordance with the Air Force Family Housing Guide (AFFHG) in making a truly functional and pleasant layout.
- Quality materials in construction to the fullest extent possible.

Section 4.4 provides analyses and recommendations specific to the General Office Quarters at Holloman AFB.

Section 4.5 contains a tabular summary of Whole Neighborhood/Whole House analysis and recommendations of Chapters 3 and 4. All unit types and neighborhoods in the current inventory are listed in Section 4.5.2, Existing and Proposed Unit Grade. This table recommends how each unit should be used to meet future requirements, which may mean a change in grade assignment or number of bedrooms. This table is the basic framework for all recommendations contained within the HCP. CAM scores listed in this table determine whether Investment or O&M dollars will be used to fund the improvements.

The recommendations of Section 4.5.2 are then totaled in Section 4.5.3 and compared with the requirements noted in the HMA and listed in Chapter 2. This enables the User to determine how all Core Requirements are met and how many units are available to satisfy the needs of Customer Demand.

Section 4.6 provides estimates for improving unit types to Whole House standards as recommended in Section 4.3. Replacement options are separately examined and estimated in Chapter 5. Whole House estimates use a comprehensive, one-time approach funded by MILCON funds. The Air Force prefers this approach as the most economical means of bringing housing up to current AF standards.

This document is conceptual in nature and is not intended for use as working drawings or contract documents. The plans and recommendations within have not been developed for detailed construction.

4.1.1 Energy Efficient Design

Air Force policy is to maximize energy conservation by improving energy efficiency and maximizing the use of renewable forms of energy in all projects to the maximum intent possible. Some ways to accomplish this are the following:

- Educate residents in goals of energy management plan for individual structures as well as the Base as a whole.
- Items which should be, and most cases already are, standard base procedures.
- Increase insulation values of ceilings and walls whenever this becomes feasible in the rehab process. Special attention should be paid to the water tightness of the exterior envelope.
- Replace windows with energy efficient types such as metal or vinyl-clad wood frames with insulating glass.
- Provide residential ventilation system for each unit to provide positive flow of outside air for control of moisture, odors and contaminants. An efficient system is a prerequisite to a healthy and comfortable indoor environment.
- Replace exterior doors with insulating metal and use in combination with storm doors. Ensure timely replacement of weather-stripping on historic unit doors.

- Replace older equipment with energy efficient models having high Energy Efficient Rates (EER).
- Install flow restrictors on faucets and educate residents on relevance to energy savings.
- Use water saving water closets.
- Replace incandescent fixtures with fluorescent lighting in kitchens and utility rooms.
- Install automatic set-back thermostats. Instruct residents in usage.
- Maintain system equipment on a regular schedule for maximum efficiency.
- Provide areas for recycling storage.

4.1.2 Units For Barrier-free Design

Air Force Instruction 32-6002 requires that design and construction of all common areas such as walks, streets, parking, play areas, playground equipment, and common entrances to multi-use facilities be accessible to the handicapped.

Newly constructed readily available living units are identified below. A minimum target of five percent of units on base should be identified as adaptable for the physically handicapped. The goal is to have these units spread across as many grade and bedroom types throughout the housing area as possible. Conversion of these units will be done on a case-by-case basis as actual need arises.

Housing types that are suitable for use by the handicapped are as follows:

Existing Handicap Accessible Units

There are currently five units available that are accessible.

Unit Configuration	Type	Address
2BR, JNCO	FY96-02 Replacement	2073B Bell Ave.
3BR, JNCO	FY96-02 Replacement	2060A Bernalillo Crt.
3BR, JNCO	FY96-02 Replacement	2060B Bernalillo Crt.
3BR, JNCO	FY96-02 Replacement	2082A Eglin Ave.
3BR, JNCO	FY96-02 Replacement	2082B Eglin Ave.

Handicap Adaptable

Units readily adaptable to be fully handicap accessible (especially to a person in a wheelchair) are available at Holloman AFB.

No. Bedrooms	Type	No. Available/Rank
3BR	FY03.3	51 JNCO
4BR	FY03.4	50 JNCO
3BR	CP.3.S	31 FGO
3BR	CP.3.T	42 CGO
3BR	CP.3.U	9 FGO
3BR	CP.3.V	38 CGO
3BR	CP.3.W	2 FGO
3BR	CP.3.W	4 CGO
3BR	CP.3.X	6 CGO
3BR	CP.3.Z	1 FGO
4BR	CP.4.G	1 GOQ
4BR	CP.4.S	1 SOQ
4BR	CP.4.T	11 SOQ
4BR	CP.4.U	1 SOQ
4BR	CP.4.V	5 FGO
4BR	CP.4.V	20 CGO
4BR	CP.4.X	16 CGO
4BR	CP.4.Y	2 FGO
2BR	CP.2	26 JNCO
3BR	CP.3.Q	72 SNCO
3BR	CP.3.Q	46 JNCO

(Continued in next column.)

No. Bedrooms	Type	No. Available/Rank
3BR	CP.3.R	36 SNCO
3BR	CP.3.R	26 JNCO
4BR	CP.4.Q	20 SNCO
4BR	CP.4.R	12 SNCO
3BR	FYO2.3.W	36 JNCO
3BR	FYO2.3.X	36 JNCO
3BR	FYO2.3.Y	4 JNCO
2BR	FY96-02.2	4 JNCO
3BR	FY96-02.3.W	36 JNCO
3BR	FY96-02.3.X	32 JNCO
2BR	WH.2.V	12 JNCO
2BR	WH.2.W	12 JNCO
2BR	WH.2.X	154 JNCO
2BR	WH.2.Y	162 JNCO
2BR	WH.2.Z	84 JNCO
3BR	WH.3.W	6 SNCO
3BR	WH.3.W	58 JNCO
3BR	WH.3.X	13 JNCO
4BR	WH.4.W	14 SNCO
4BR	WH.4.W	35 JNCO
4BR	WH.4.X	1 SNCO
4BR	WH.4.Y	14 SNCO
4BR	WH.4.Y	6 JNCO
5BR	WH.5	1 E-9

The following chart shows handicap adaptable unit requirements at Holloman AFB.

Unit Configuration	No. Req'd	No. of Accessible	No. of Adaptable	Surplus (Deficit)
4BR, GOQ	0	0	1	1
4BR, SOQ	1	0	8	7
4BR, FGO	1	0	21	20
3BR, FGO	2	0	43	41
4BR, E-9	1	0	3	2
3BR, E-9	1	0	3	2
4BR, CGO	1	0	21	20
3BR, CGO	4	0	90	86
4BR, SNCO	2	0	8	6
3BR, SNCO	4	0	13	9
4BR, JNCO	6	0	85	79
3BR, JNCO	18	4	293	275
2BR, JNCO	25	1	381	356
TOTAL	66	5	970	904

4.1.2.1 Unit Improvements – Handicap

Key Improvements for providing accessibility for wheelchair handicap individuals within a dwelling unit include:

Floor Plan Modifications

- Accessible route (entrance ramp, wider doors).
- Single-story design or, at a minimum, bedroom, bathroom, and preferable laundry facilities on the first floor.

Interior Finish Improvements

- Maneuvering clearances at doors.
- Lever-type door hardware.
- Storage accessibility.

Bathroom Modifications

- Handicap clearances.
- Handrails and grab bars.
- Tilt or full height mirror.
- Accessories at handicap accessible heights.
- Shower/tub fixtures with hand-held shower head mounted on a vertical rod for adjustments.

Kitchen Modifications

- Accessible controls, work surfaces and appliances.
- Additional equipment and alarms may be required for the hearing or visually impaired. All requirements are detailed in the standards noted below.

4.1.2.2 Standards – Handicap

- Uniform Federal Accessibility Standards (UFAS).
- ANSI A 117.1 “Providing Accessibility and Usability for Physically Handicapped People.”
- 1992 Americans with disabilities Act (ADA), Accessibility Guidelines for Buildings and Facilities.

4.1.3 Historical Units

There are no historical units present at Holloman AFB.

4.1.4 Force Protection

Force protection measures are directly related to the perceived threat and the attractiveness of the target for terrorist activity. Generally, typical AF housing, whether, single units, duplexes or even multiplexes, are not considered significant risks. The normal fencing enclosing the housing area along the controlled access is considered appropriate force protection measures in most parts of the world.

Additional force protection measures are required for housing where the risk is significantly greater or the

target more attractive for terrorists. For example, in some locations where the threat to US personnel is high, standoff distances from the perimeter fence line are required for all new housing. Likewise, high rise facilities containing 12 housing units or more must be capable of withstanding terrorist actions without suffering progressive failures. The standoff distance and the extent of terrorist actions to be protective against are defined in directives issued by the specific regional commander.

4.1.5 Basis For Unit Cams

During the field survey at Holloman AFB, the HCP team used a comprehensive survey developed by the Air Force, called a Condition Assessment Matrix (CAM) to determine the condition of standard components of the housing units. These components are evaluated (where appropriate) for Appearance, Condition, Functionality, Expansion Capacity, Life Expectancy, Energy Compliance, and Life/Safety Compliance.

The unit type analysis contained in Section 4.3 will describe the condition of each of these standard components and provide additional comments as appropriate. Details of the CAM evaluation are found in electronic format in Appendix I.A. The following standard definitions are used in the unit type analysis:

- A final CAM score between 5.00 and 4.20 is described as “excellent” and indicates the condition exceeds Air Force standards.
- A final CAM score between 4.19 and 3.70 is described as “good” and indicates a fully serviceable condition, which meets Air Force Standards.
- A final CAM score between 3.69 and 2.70 is described as “fair” and indicates a below-standard condition requiring minor maintenance and repair.
- A final CAM score between 2.69 and 2.00 is described as “poor” and indicates a condition requiring moderate maintenance and repair.
- A final CAM score between 1.99 and 1.00 is described as “deteriorated” and indicates a condition requiring major maintenance and repair.

Recommendations for improvements are provided for all components in less than “good” condition; i.e., with a final score of 3.69 or below. Some components which score 3.70 or above also have recommendations to resolve additional deficiencies which are noted in the analysis.

A summary of all unit types and neighborhoods in the current inventory are listed in Section 4.5.2, Existing & Proposed Unit Grade Mix. This table includes the CAM score for each unit type. This table is the basic framework for all recommendations contained within the HCP.

The sub-systems evaluated in the Unit Assessment are:

- Roof
- Structural – Foundation/Exterior Walls
- Structural – Other Building Elements
- Interior Mechanical
- Interior Electrical
- Interiors, General – All but Kitchen, Baths, Laundry
- Interiors, Kitchen
- Interiors, Bathroom #1
- Interiors, Bathroom #2
- Interiors, Bathroom #3
- Interiors, Laundry Room
- Special Assessments
- House Sitework
- House Plan Suitability

4.1.6 Basis for unit Cost Estimates

The purpose of this section is to provide estimates for improving the unit types at Holloman AFB to Whole House standards. Chapter 5 of this HCP considers whether replacement of partial or whole neighborhoods would be cost effective than improving existing neighborhood/areas.

Recommendations for improvement are provided for each unit type component which receives a CAM score of “3.69” or below. A Whole House cost estimate is then prepared for each of these recommendations. Whole House estimates use a comprehensive, one-time approach funded by MILCON funds. The Air Force prefers this approach as the most economical means of bringing housing up to current AF standards.

Cost estimates are provided by using RS Means CostWorks database, a nationally recognized cost estimating system. These estimates are incorporated into the database developed by the Air Force, called the Family Housing Community Profile Database (FHCP DB). This database incorporates base-specific factors into the estimate to tailor the costs especially for Holloman AFB. These factors are:

- CostWorks - 1st Quarter 2001.
- Inflation Factor to FY2003.
- Area Cost Factor (ACF).
- Supervision Inspection and Overhead (SIOH).
- Contractor’s Overhead and Profit.
- Contingency.

The unit costs in this HCP were developed using the 1st quarter 2001 RS Means CostWorks escalated to FY03 with The Office of the Secretary Defense published inflation factors. Specific projects, once developed, need to be appropriately escalated to the programmed fiscal year.

A cost estimate for each unit type is provided in Section 4.3 along with the associated unit type analysis and recommendations. Costs for all unit types are then summarized in Section 4.6. Detailed unit cost estimates are included in the FHCP Database in Appendix I.

4.2 Unit Grade Mix Plans

4.2.1 Introduction

Unit Grade Mix Plans show graphically the distribution of units at Holloman AFB. Existing Grade Mix Plans indicate current distribution by Grade and Bedroom. Proposed Plans indicate recommended distribution based on the Housing Requirements provided in Chapter 2. A detailed report showing existing and recommended distribution by Neighborhood and Unit Type is provided in Section 4.6.

4.2.2 Existing and Proposed Unit Grade Mix Plans

- Existing Unit Grade Mix Plan – 2700-2800 Area
- Proposed Unit Grade Mix Plan – 2700-2800 Area
- Existing Unit Grade Mix Plan – 2100 Area
- Proposed Unit Grade Mix Plan – 2100 Area
- Existing Unit Grade Mix Plan – Appr. 50-69, Renovated Area and Appr. 50-69, Unrenovated Area
- Proposed Unit Grade Mix Plan – Appr. 50-69, Renovated Area and Appr. 50-69, Unrenovated Area
- Existing Unit Grade Mix Plan – Capehart 2500-2600 Area
- Proposed Unit Grade Mix Plan – Capehart 2500-2600 Area
- Existing Unit Grade Mix Plan – FY 96-02 Replacement Area
- Proposed Unit Grade Mix Plan – FY 96-02 Replacement Area
- Existing Unit Grade Mix Plan – Wherry 2200-2300 Area
- Proposed Unit Grade Mix Plan – Wherry 2200-2300 Area
- Existing Unit Grade Mix Plan – Wherry 2400 Area
- Proposed Unit Grade Mix Plan – Wherry 2400 Area

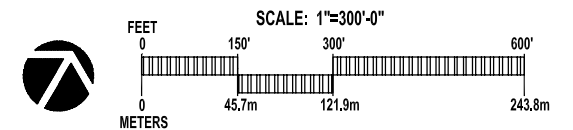
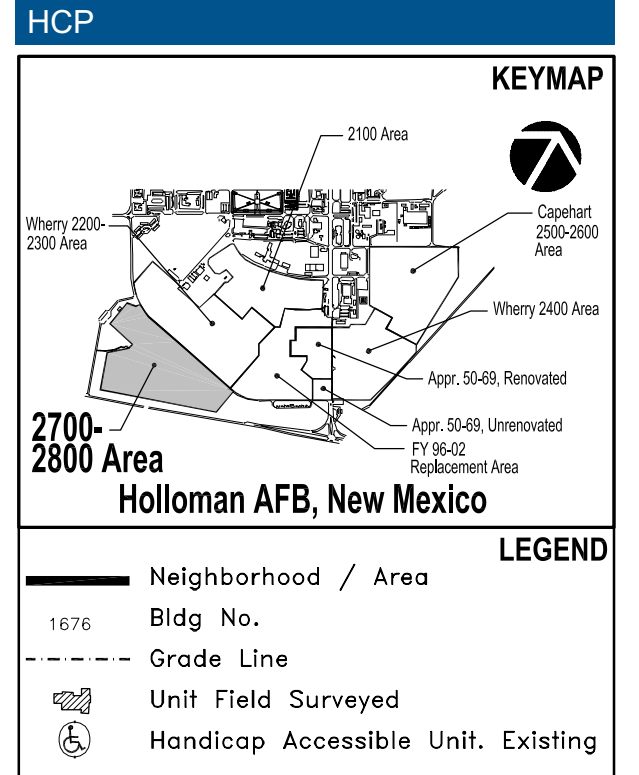
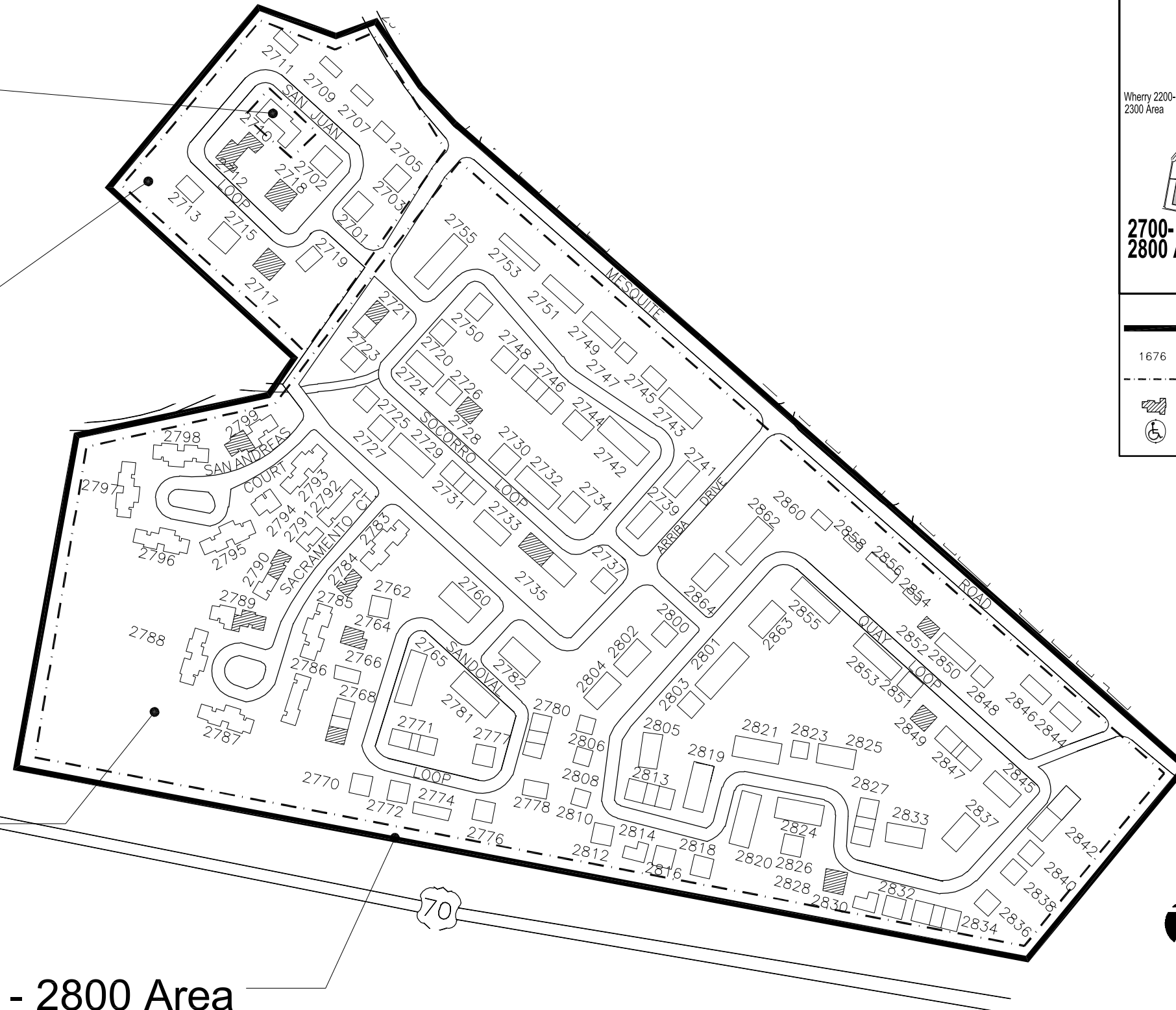
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1 - 4 BEDROOM GOQ

13 - 4 BEDROOM SOQ

90 - 3 BEDROOM CGO
36 - 4 BEDROOM CGO
43 - 3 BEDROOM FGO
7 - 4 BEDROOM FGO

2700 - 2800 Area



**Existing Unit Grade Mix Plan -
2700-2800 Area**

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1 - 4 BEDROOM GOQ

8 - 4 BEDROOM SOQ

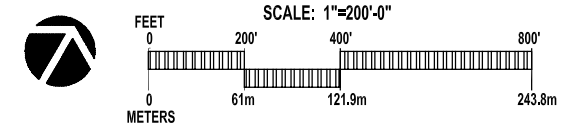
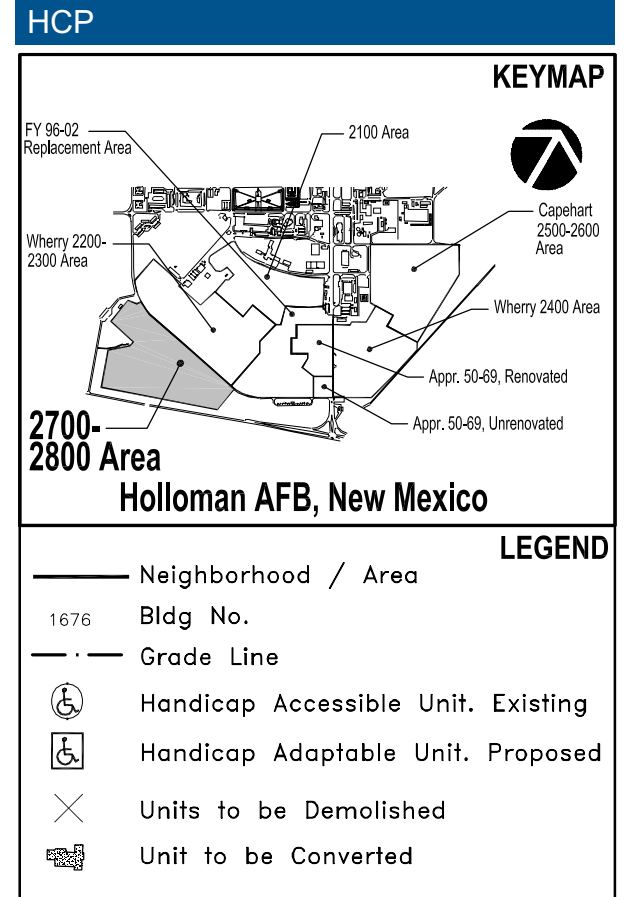
5 - 4 BEDROOM FGO

3 - 3 BEDROOM E-9

3 - 4 BEDROOM E-9

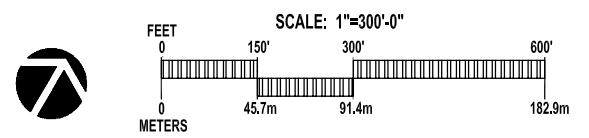
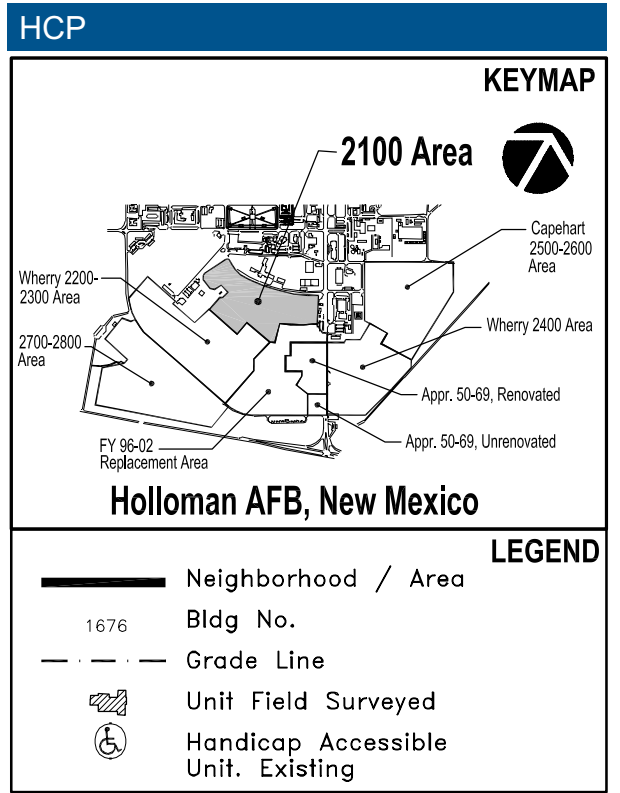
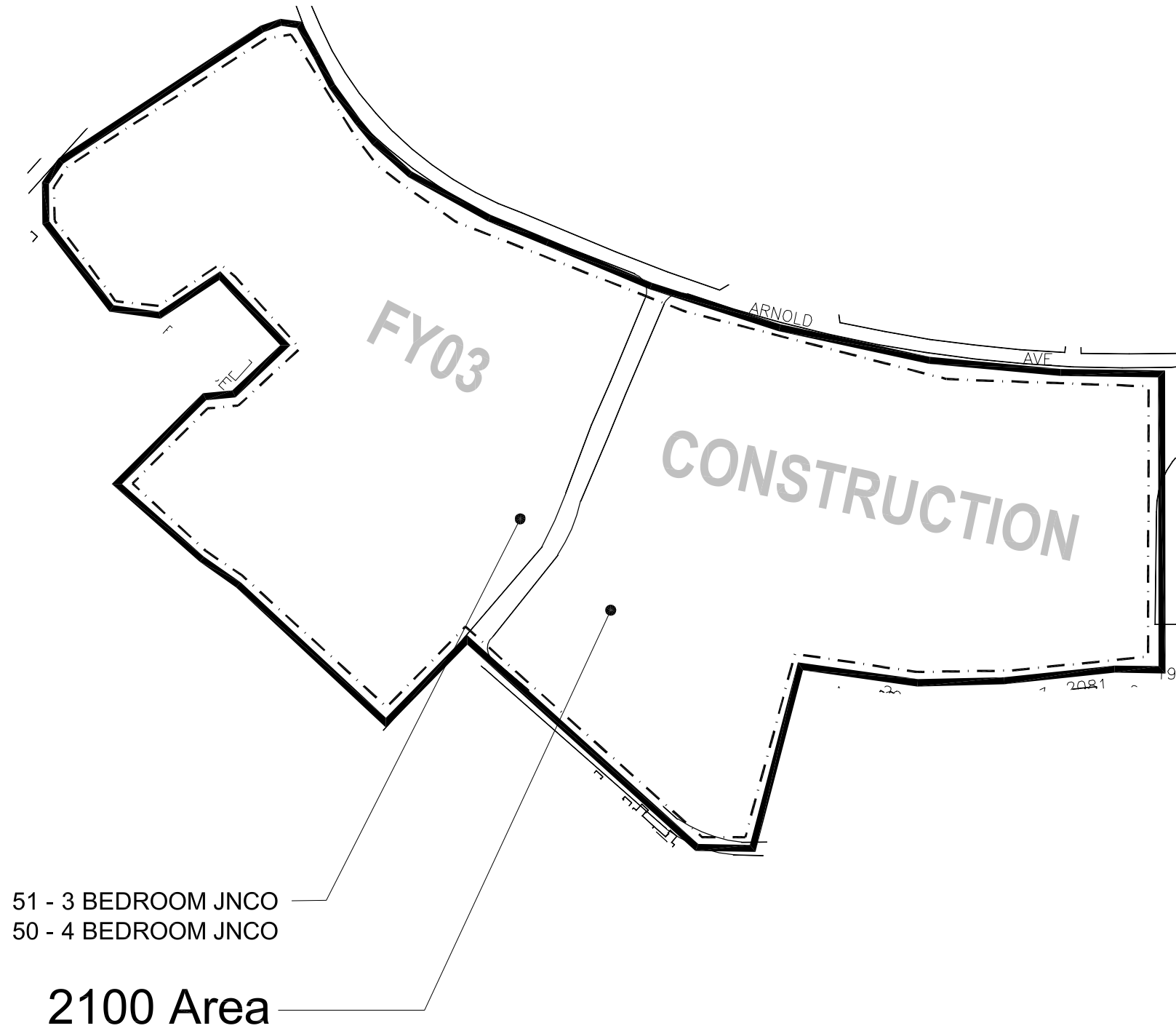
90 - 3 BEDROOM CGO
21 - 4 BEDROOM CGO
43 - 3 BEDROOM FGO
16 - 4 BEDROOM FGO

Capehart 2700 - 2800 Area



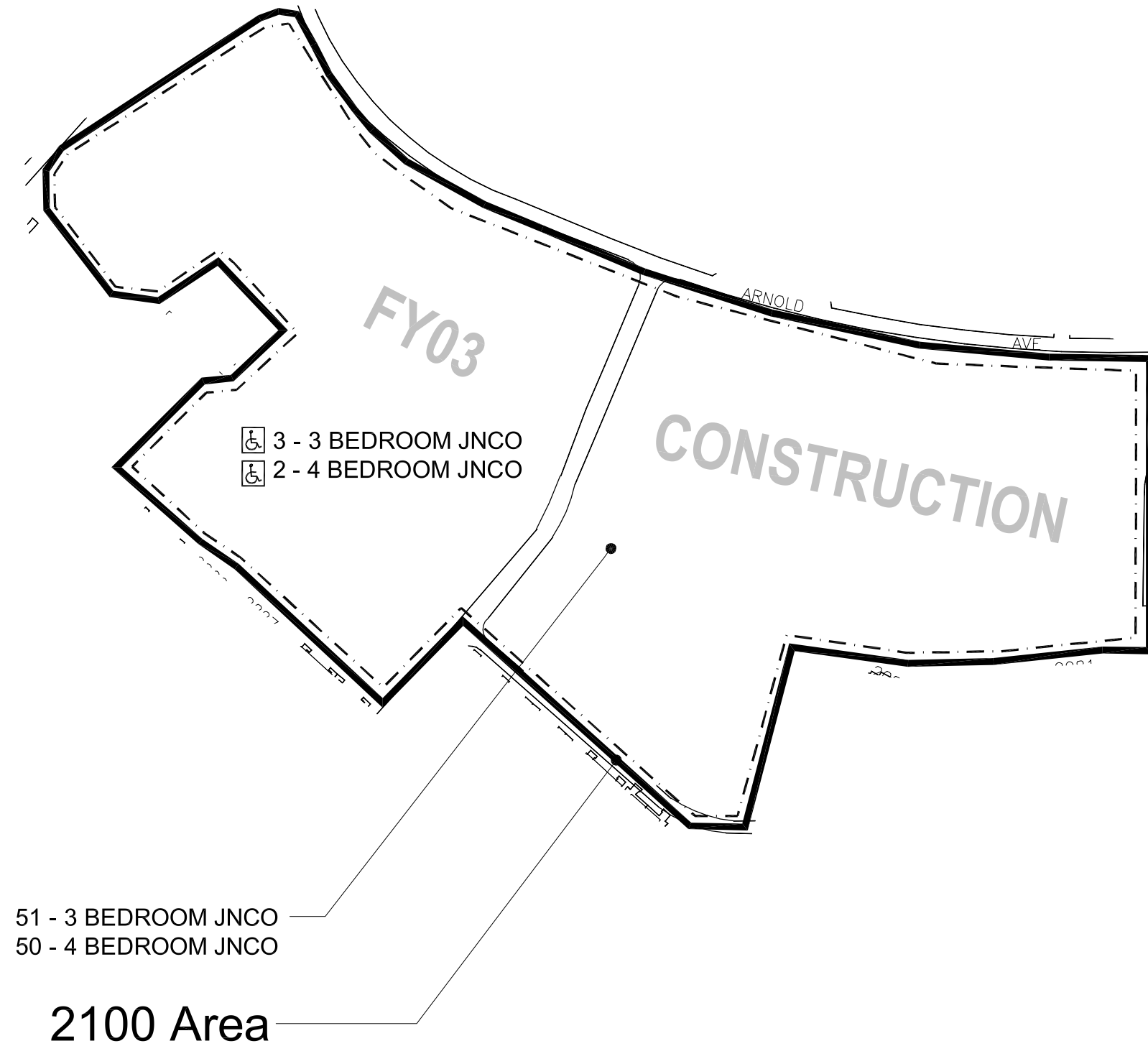
**Proposed Unit Grade Mix Plan -
2700-2800 Area**

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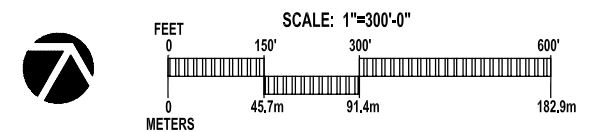
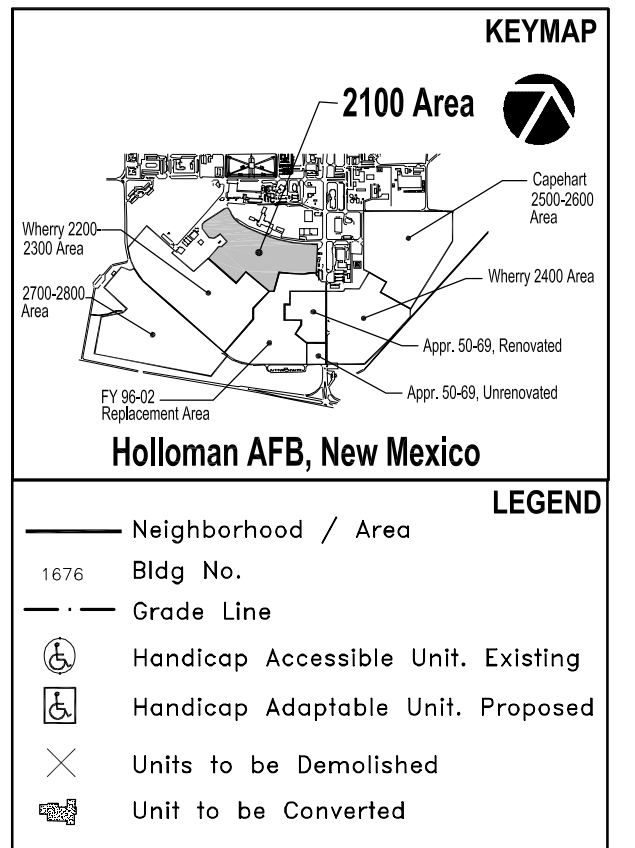


Existing Unit Grade Mix Plan - 2100 Area

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51 - 3 BEDROOM JNCO
50 - 4 BEDROOM JNCO

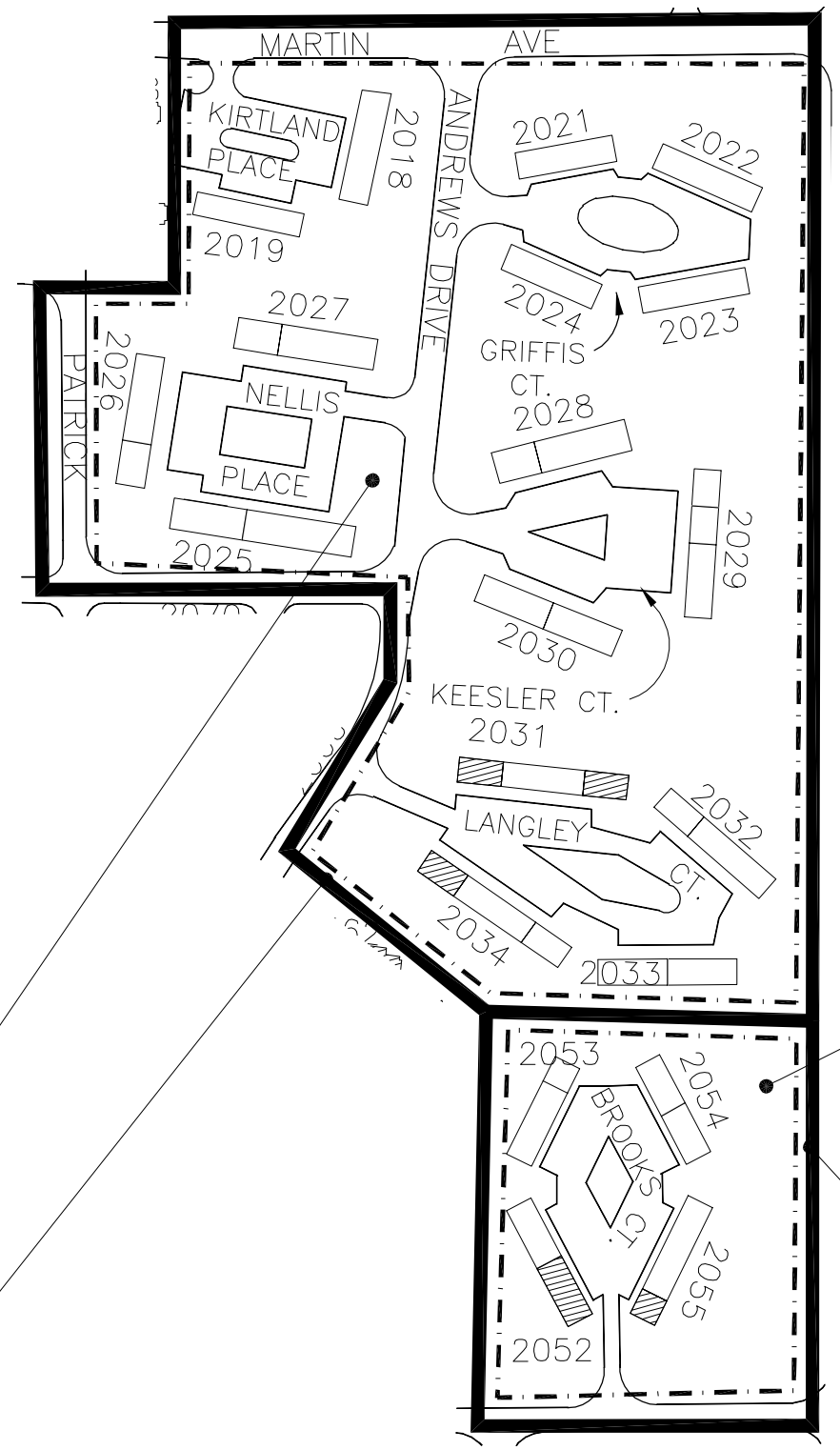


Proposed Unit Grade Mix Plan - 2100 Area

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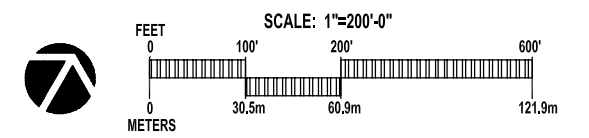
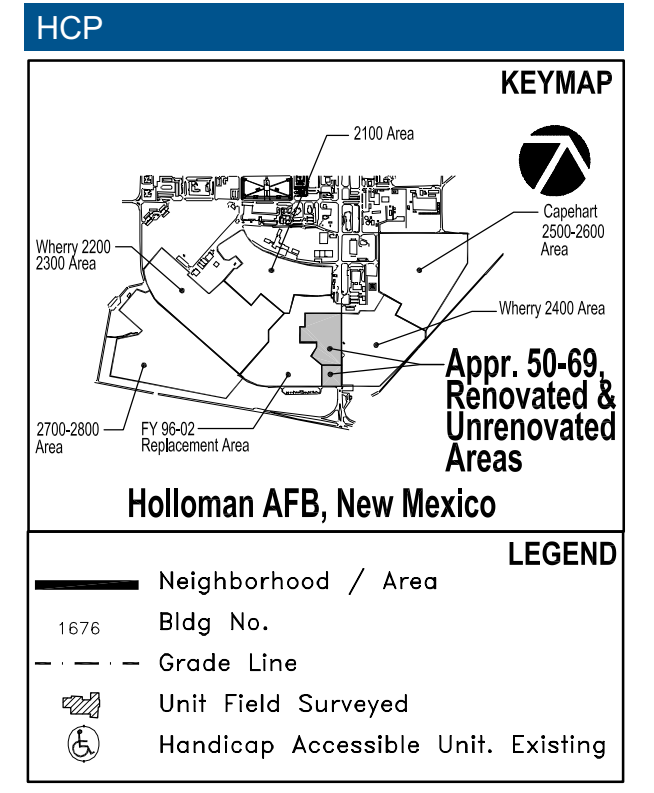
18 - 2 BEDROOM JNCO
104 - 3 BEDROOM JNCO

Appr.50-69
Renovated
Area



4 - 2 BEDROOM JNCO
20 - 3 BEDROOM JNCO
8 - 4 BEDROOM JNCO

Appr.50-69
Unrenovated
Area

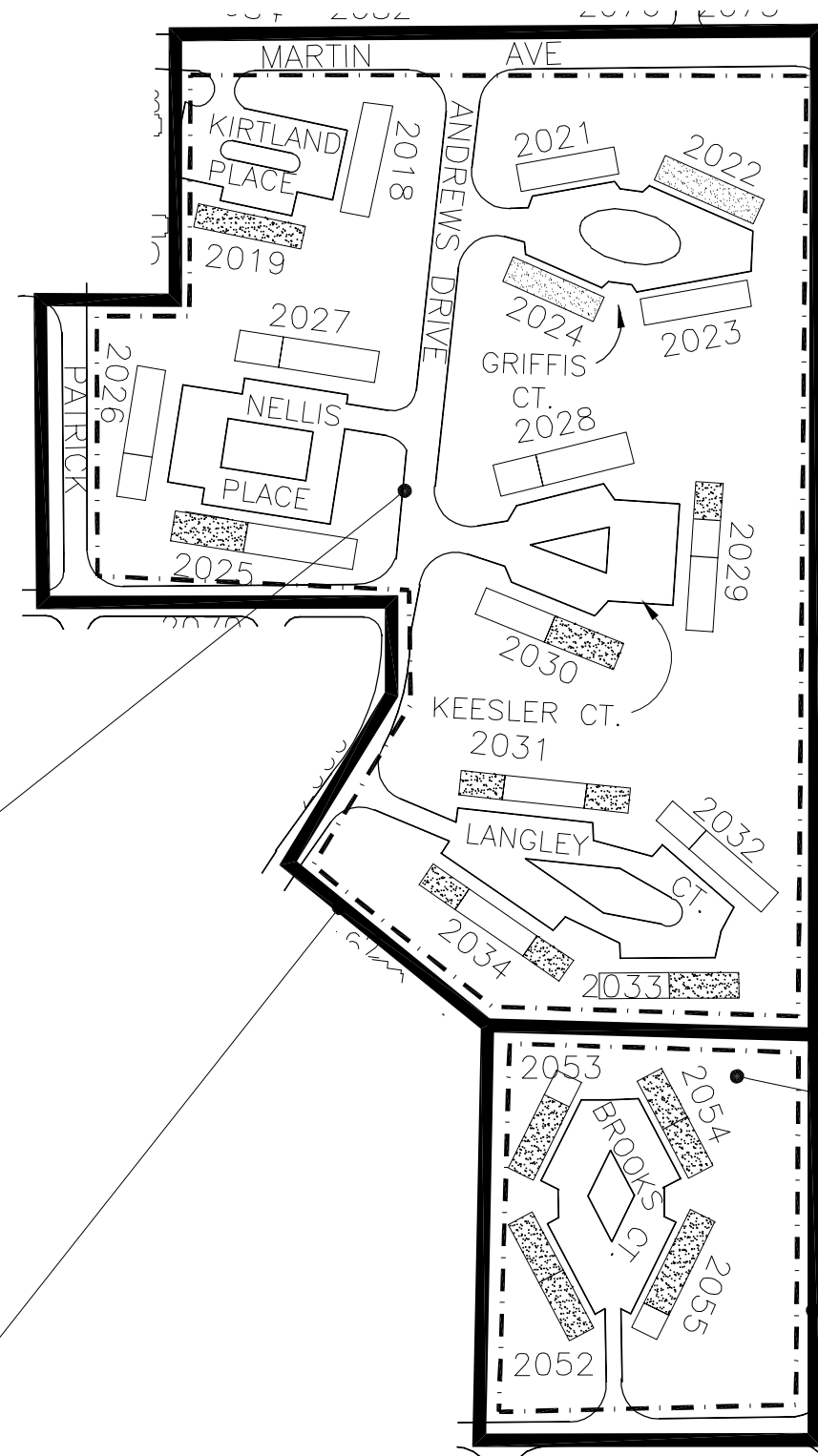


Existing Unit Grade Mix Plan
Appr.50-69 Renovated Area and
Appr.50-69 Unrenovated Area

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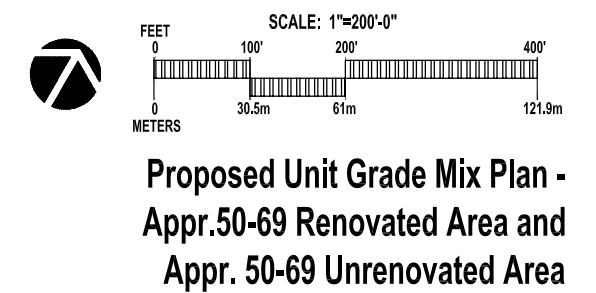
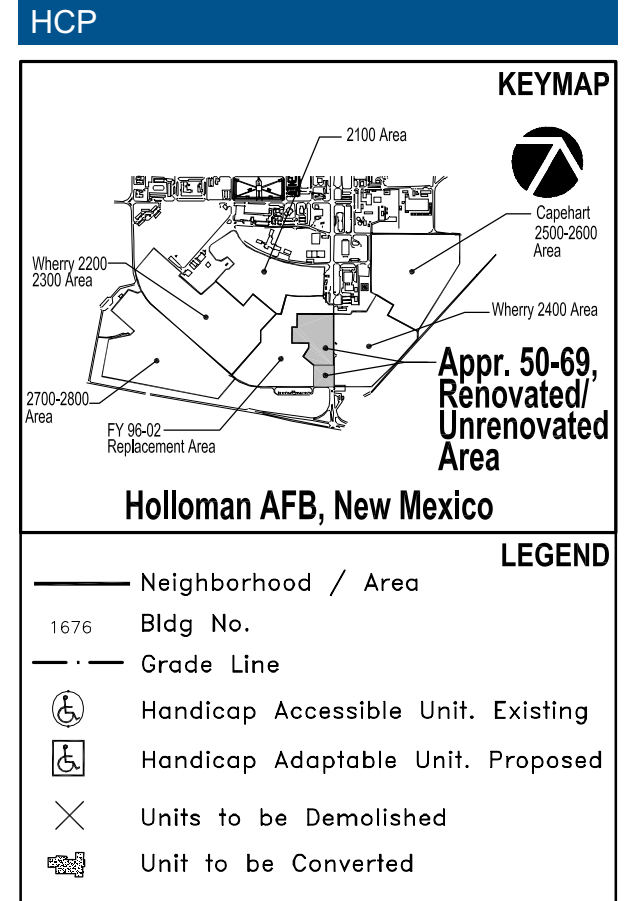
18 - 2 BEDROOM JNCO
64 - 3 BEDROOM JNCO
40 - 3 BEDROOM SNCO

Appr.50-69
Renovated
Area

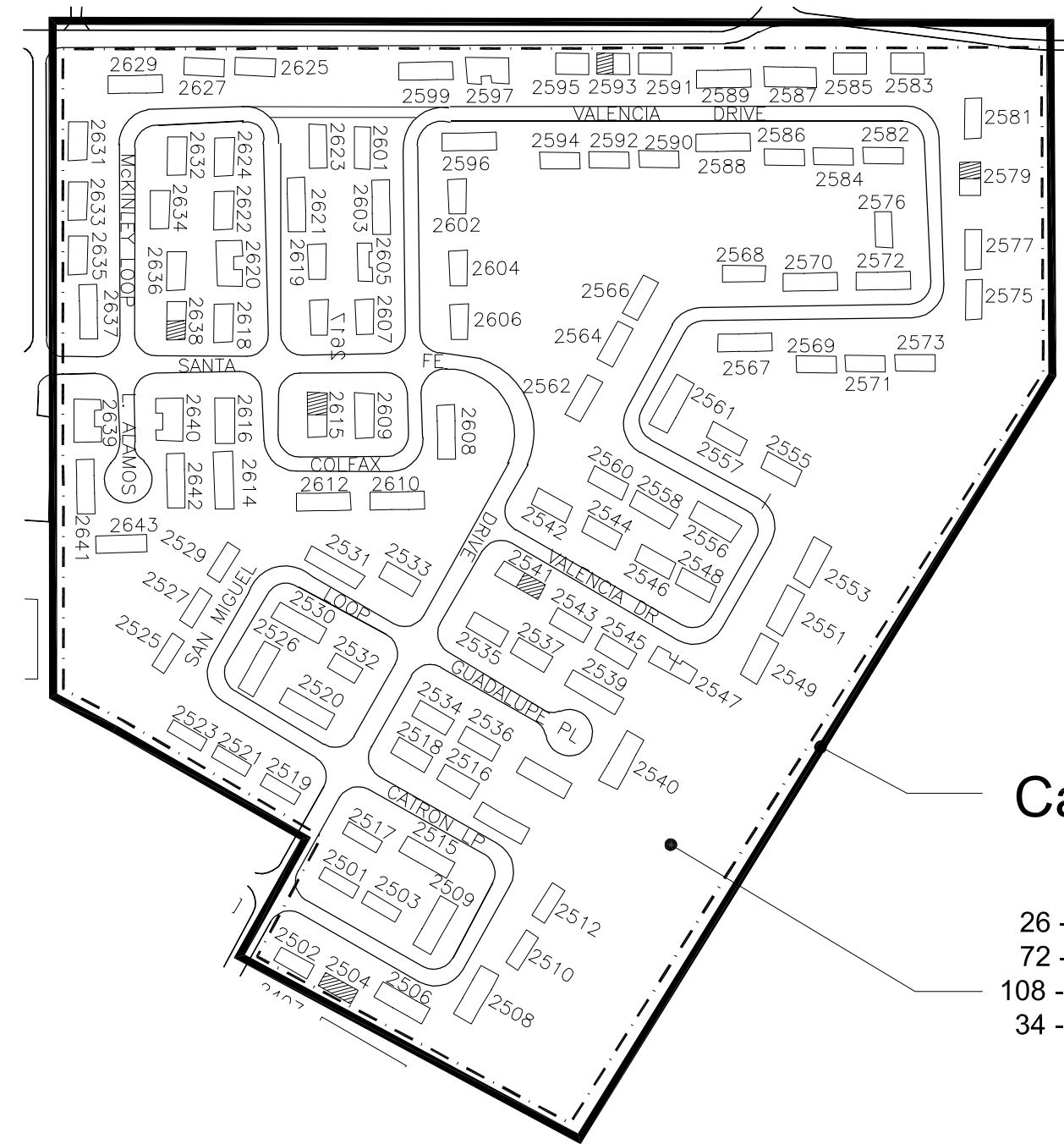


4 - 2 BEDROOM JNCO
28 - 3 BEDROOM SNCO

Appr.50-69
Unrenovated
Area

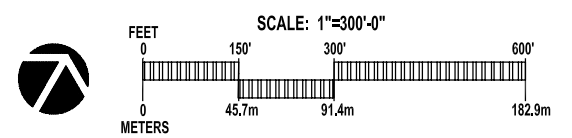
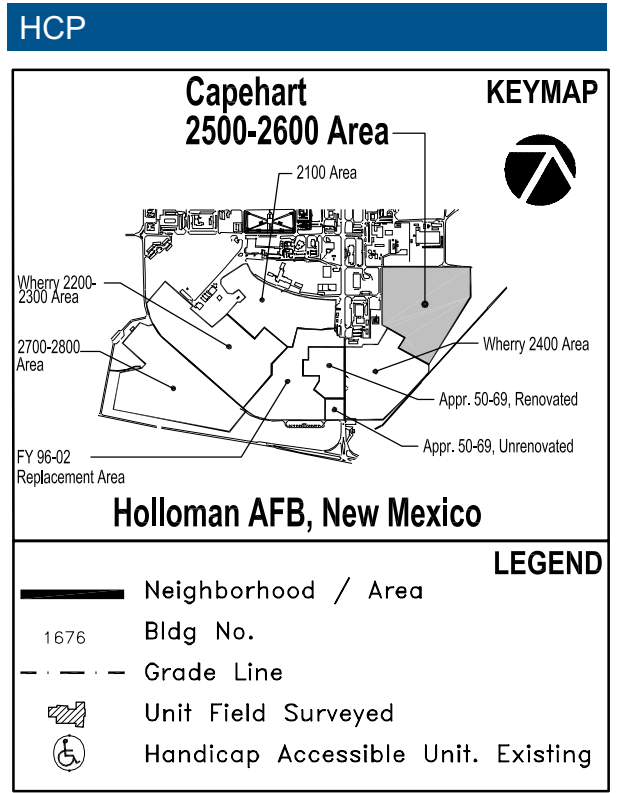


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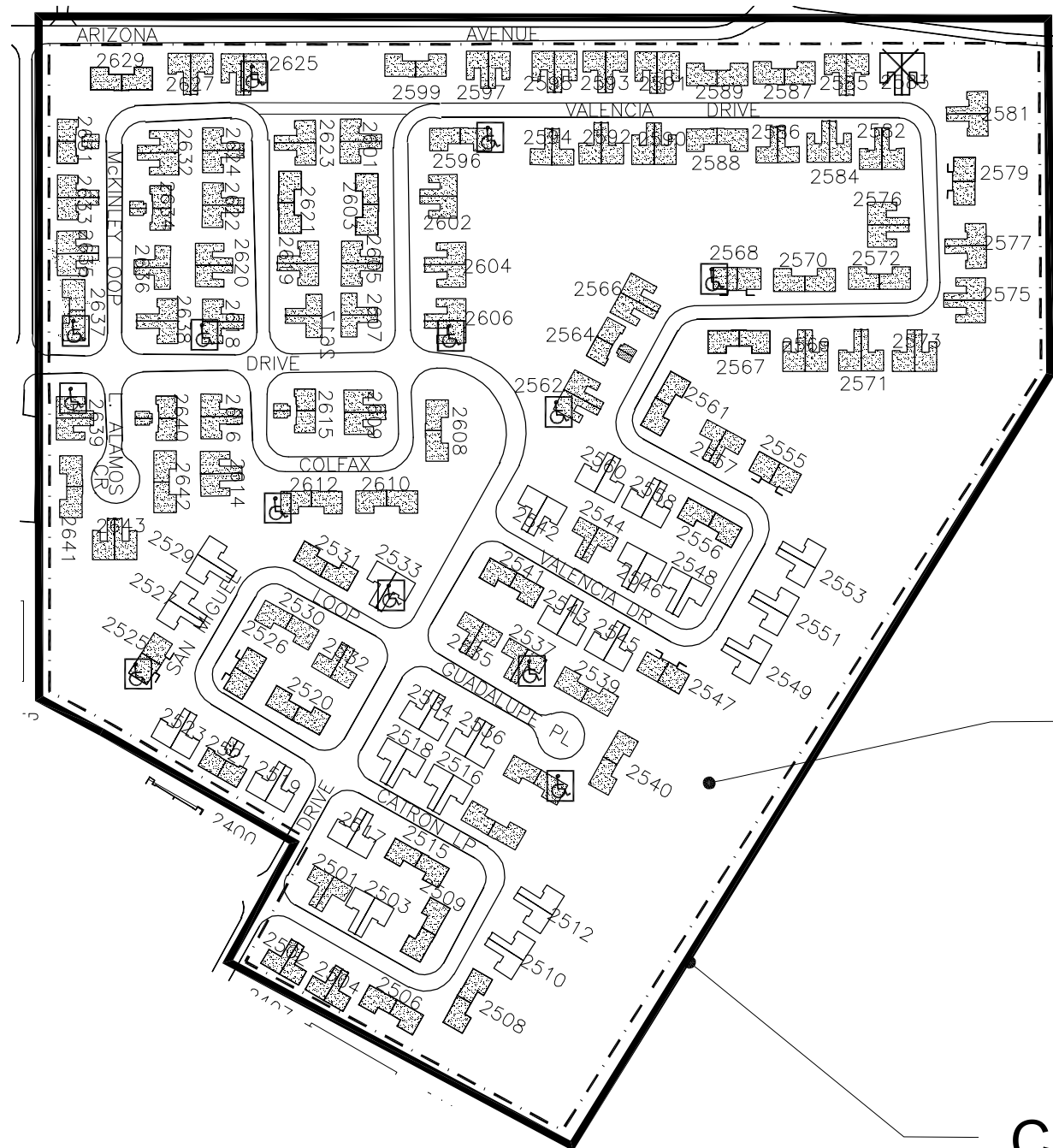
Capehart 2500 - 2600 Area

- 26 - 2 BEDROOM JNCO
- 72 - 3 BEDROOM JNCO
- 108 - 3 BEDROOM SNCO
- 34 - 4 BEDROOM SNCO



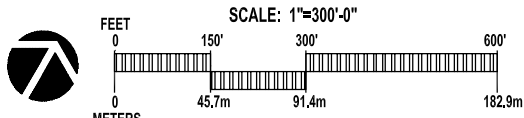
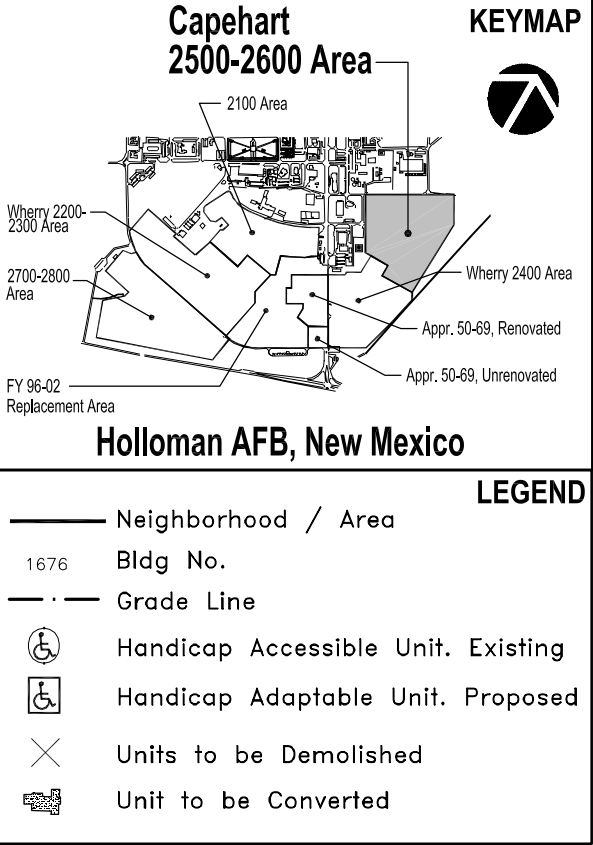
Existing Unit Grade Mix Plan -
Capehart 2500 - 2600 Area

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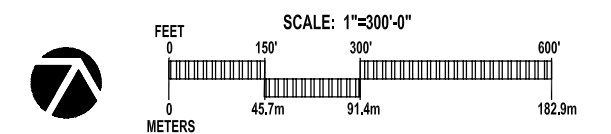
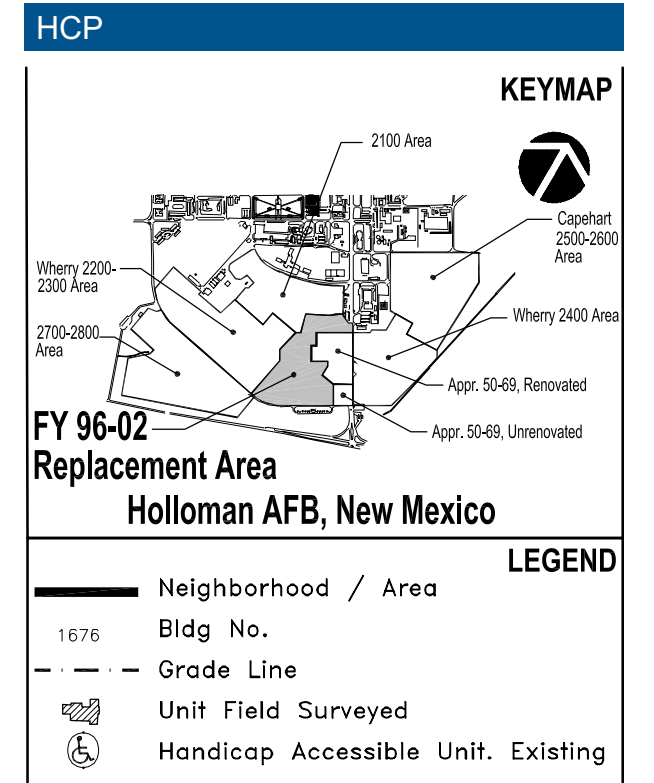
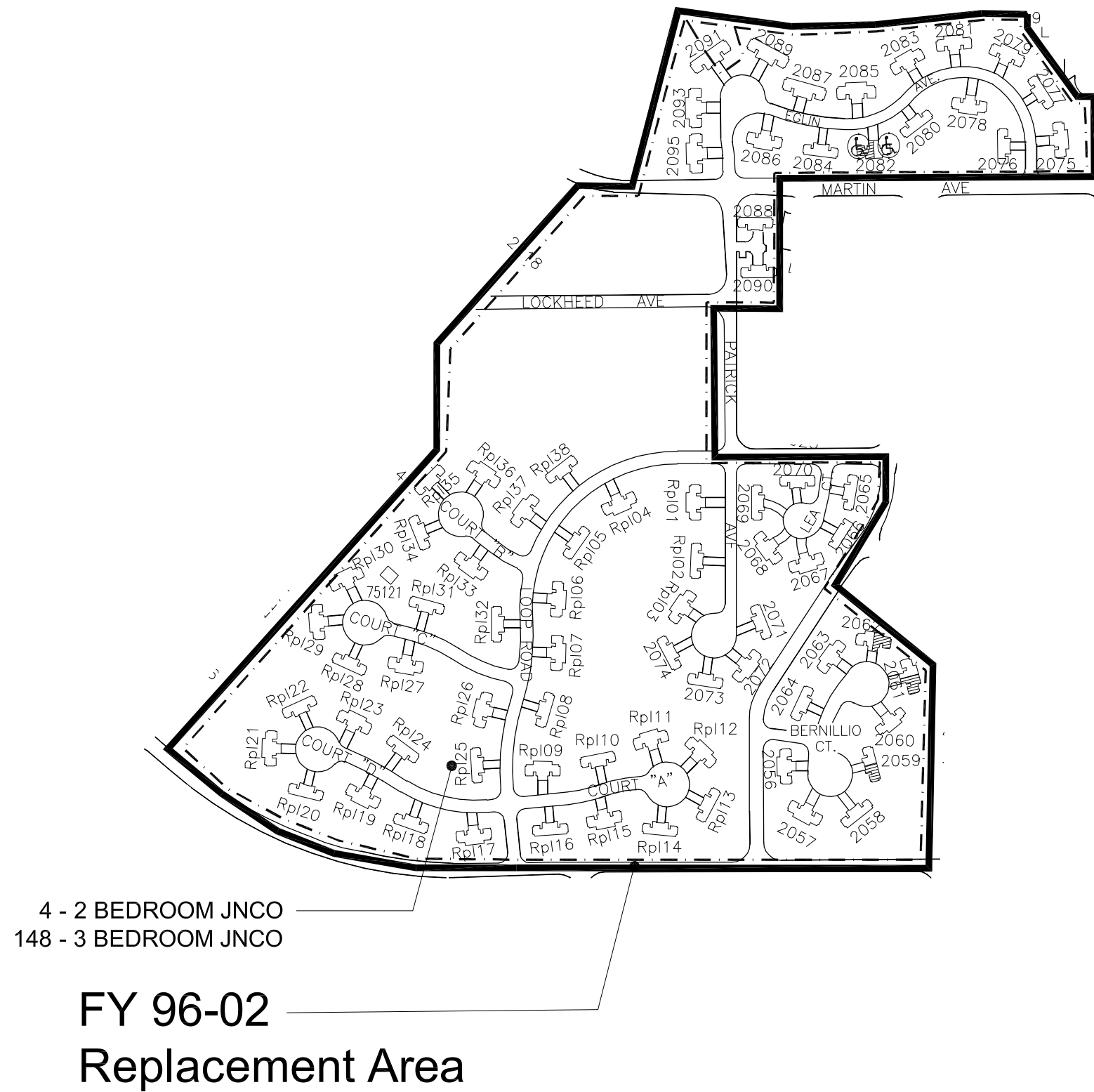
- 88 - 2 BEDROOM JNCO
- 95 - 3 BEDROOM JNCO
- 35 - 4 BEDROOM JNCO
- 12 - 3 BEDROOM SNCO
- 8 - 4 BEDROOM SNCO

Capehart 2500 - 2600 Area



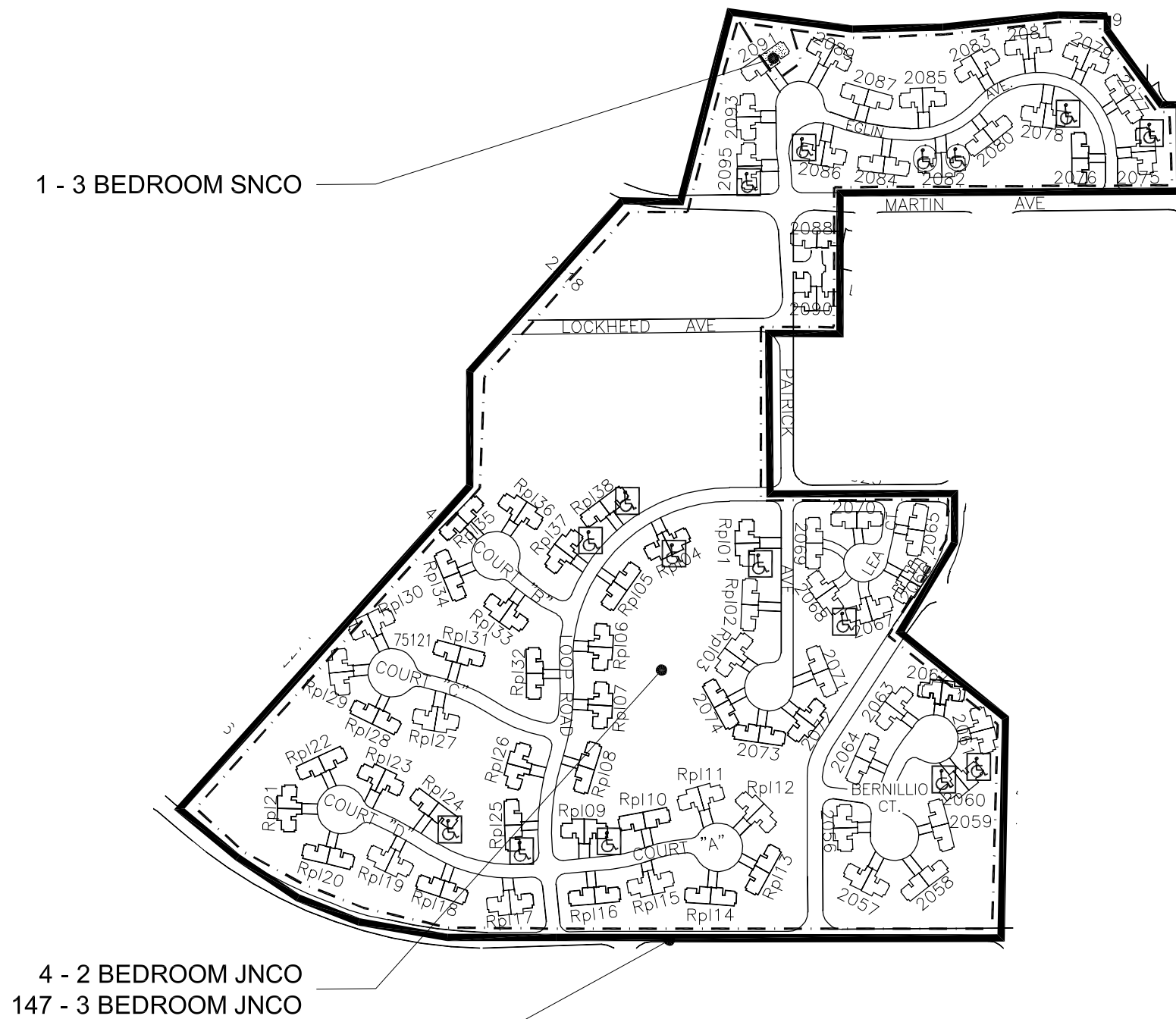
Proposed Unit Grade Mix Plan - Capehart 2500 - 2600 Area

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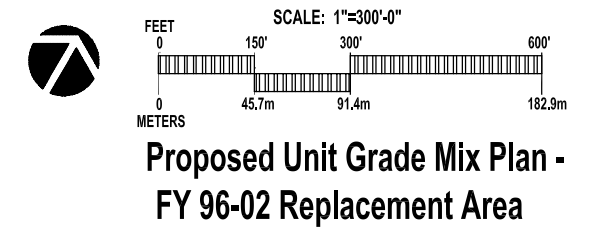
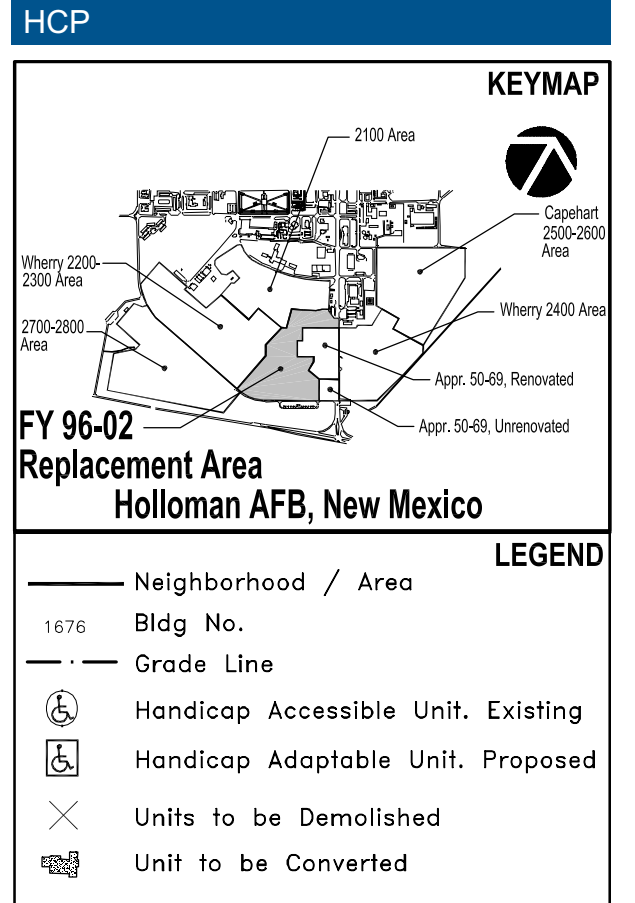


**Existing Unit Grade Mix Plan -
FY 96-02 Replacement Area**

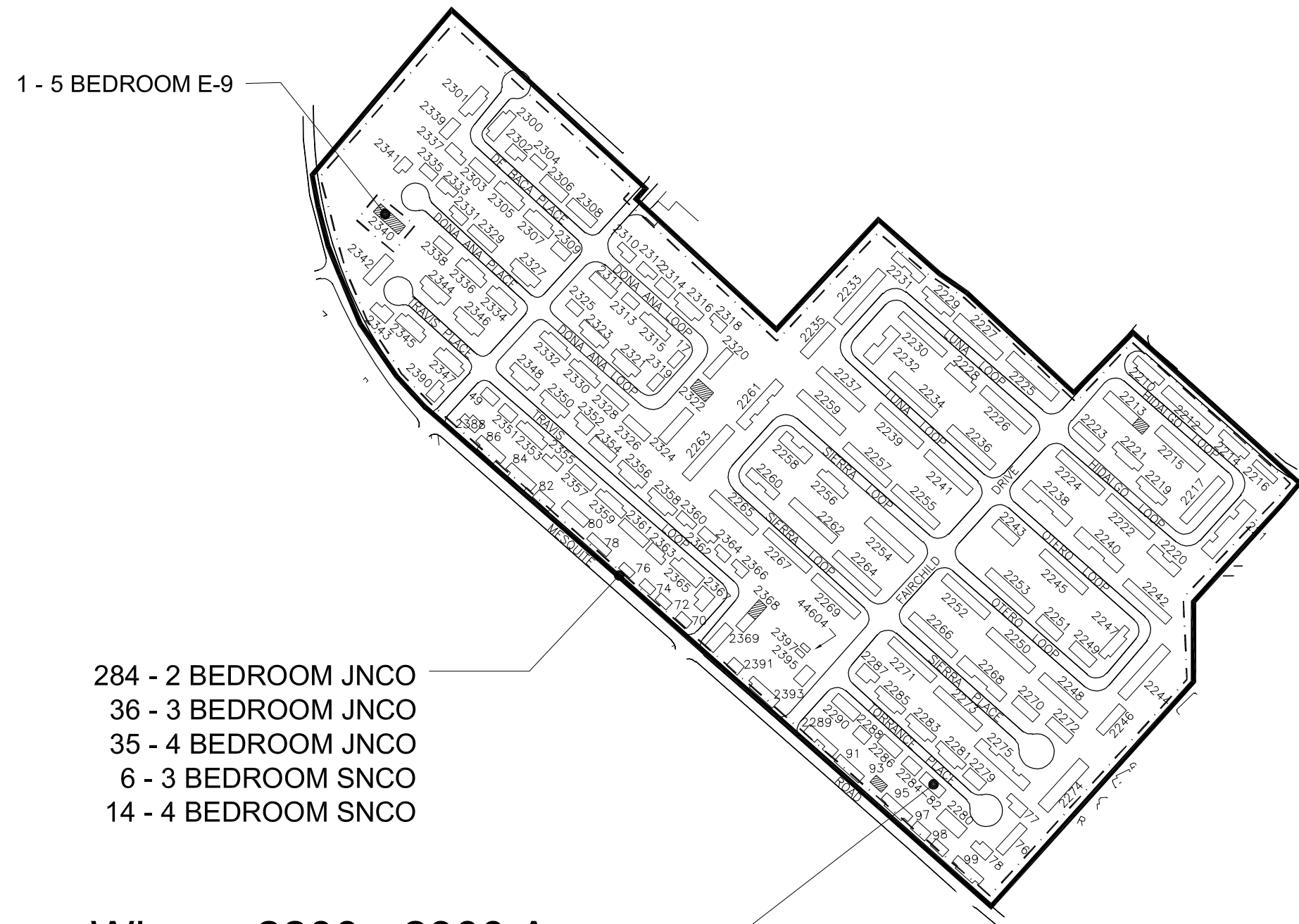
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FY 96-02 Replacement Area



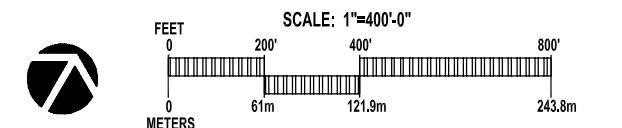
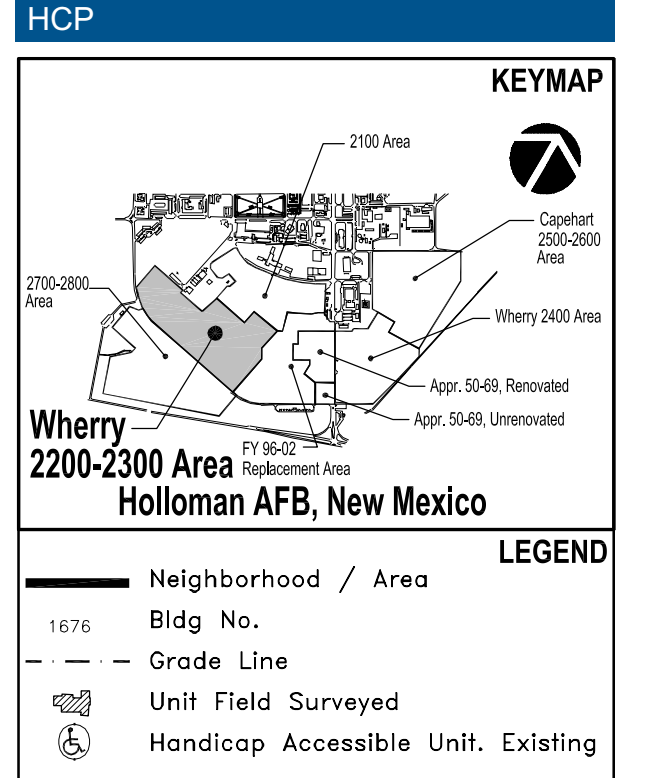
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1 - 5 BEDROOM E-9

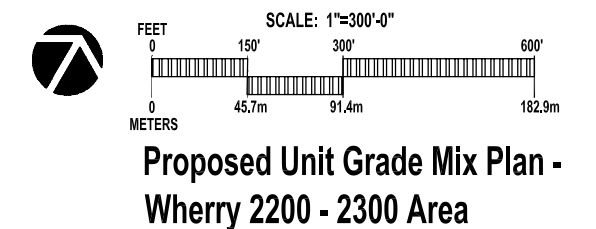
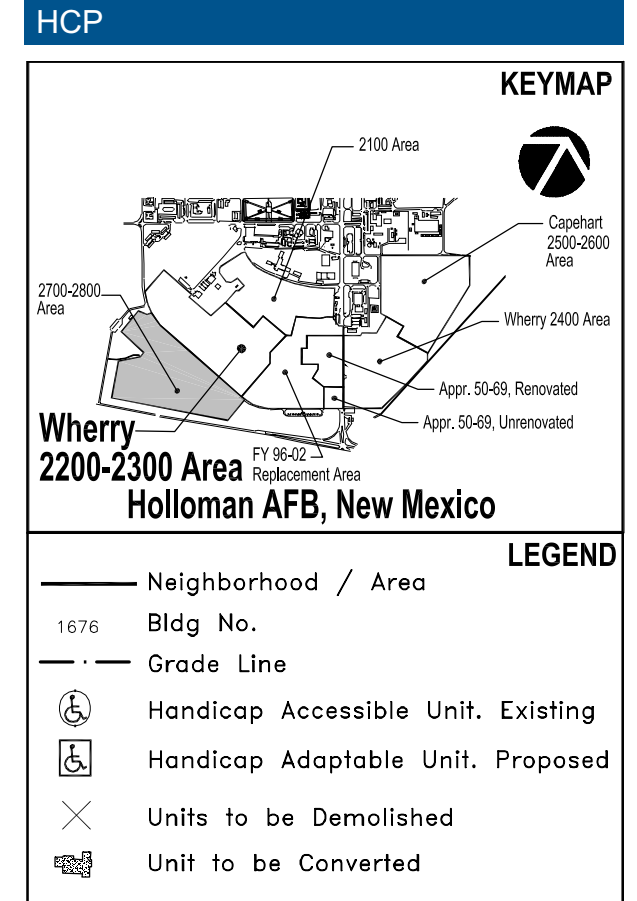
284 - 2 BEDROOM JNCO
 36 - 3 BEDROOM JNCO
 35 - 4 BEDROOM JNCO
 6 - 3 BEDROOM SNCO
 14 - 4 BEDROOM SNCO

Wherry 2200 - 2300 Area

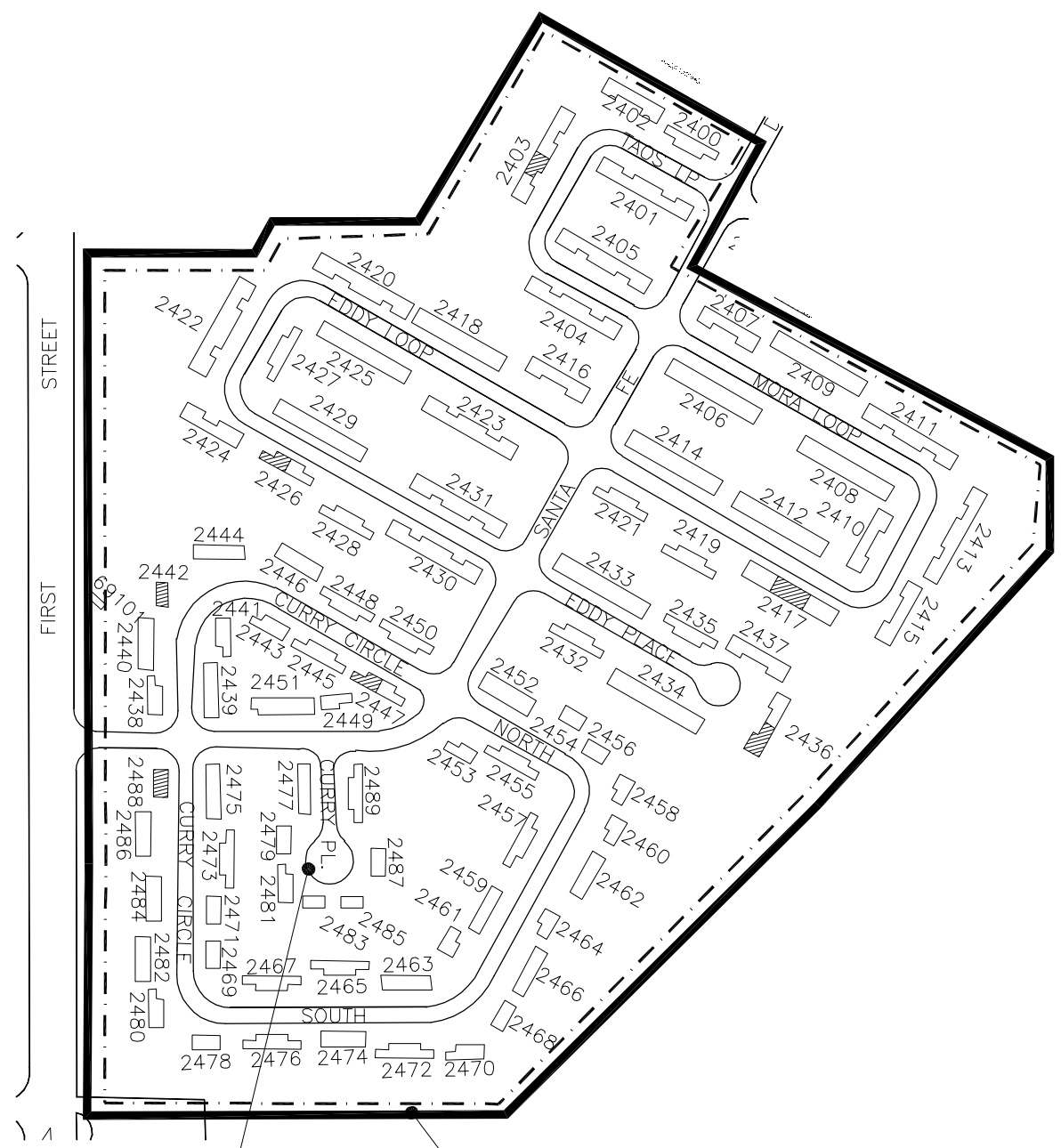


Existing Unit Grade Mix Plan -
 Wherry 2200 - 2300 Area

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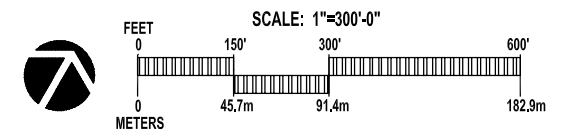
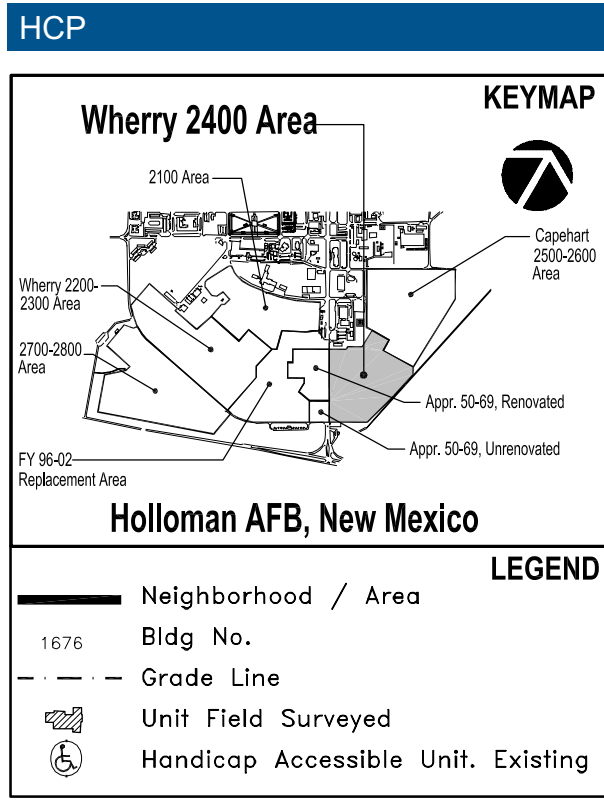


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144 - 2 BEDROOM JNCO
35 - 3 BEDROOM JNCO
6 - 4 BEDROOM JNCO
15 - 4 BEDROOM SNCO

Wherry 2400 Area

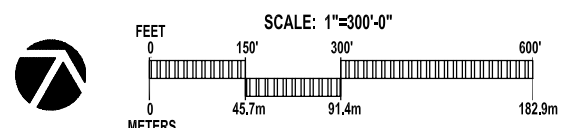
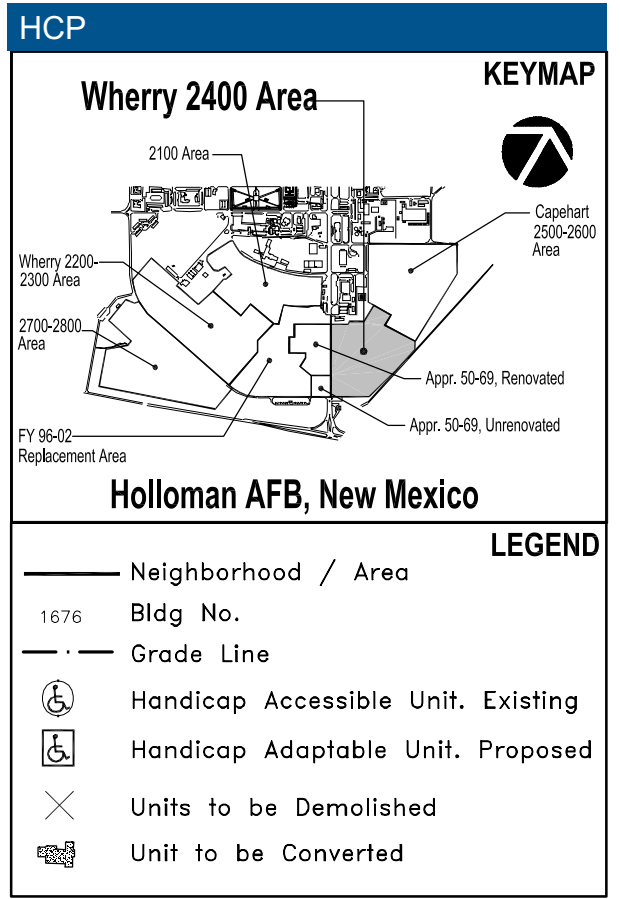
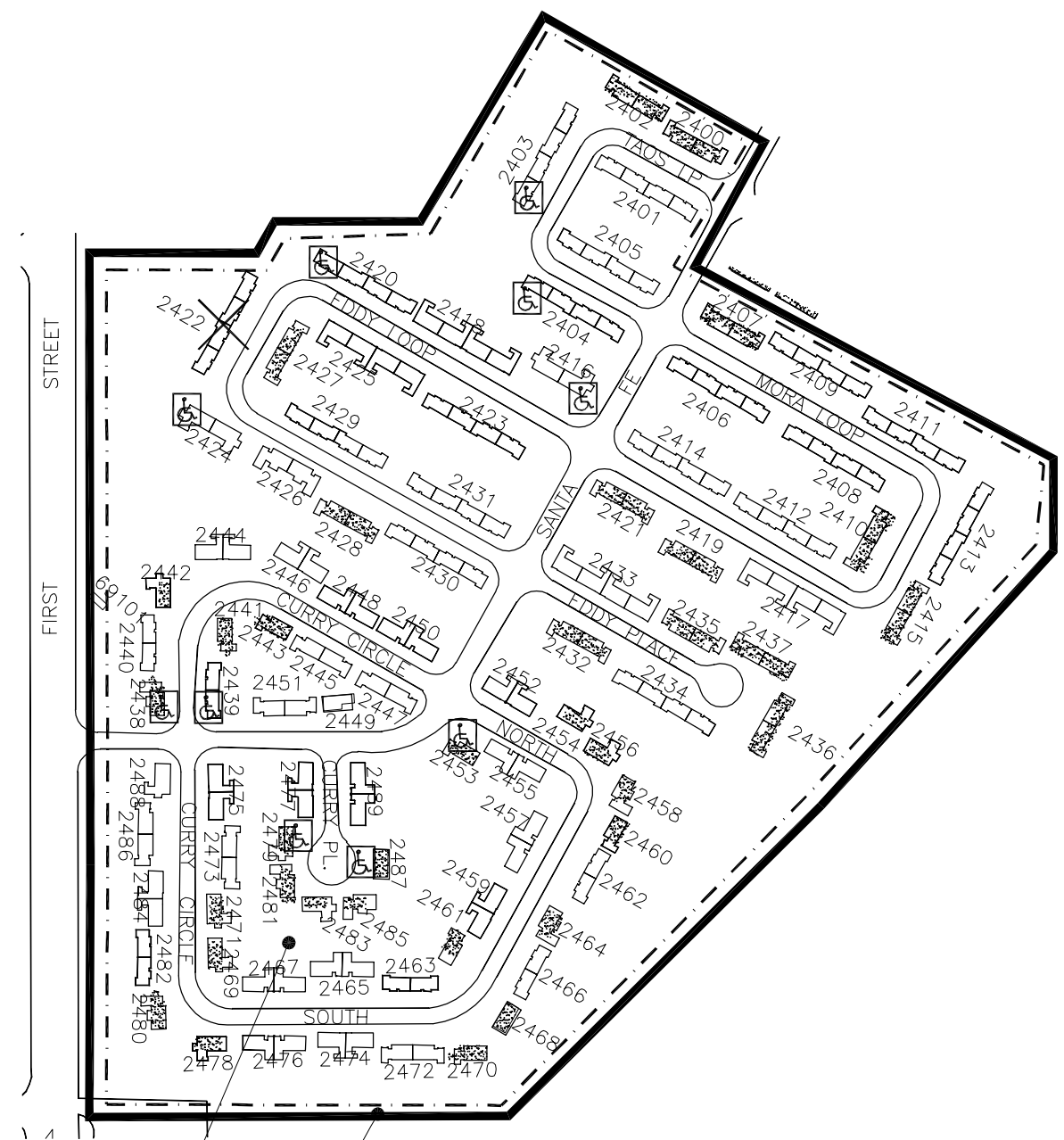


Existing Unit Grade Mix Plan -
Wherry 2400 Area

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175 - 2 BEDROOM JNCO
20 - 4 BEDROOM JNCO
1 - 4 BEDROOM SNCO

Wherry 2400 Area



Proposed Unit Grade Mix Plan -
Wherry 2400 Area

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4.3 Unit Plans

4.3.1 Introduction

There are many positive features within the MFH neighborhood areas of Holloman AFB. The style of the APPR50-69 and Capehart Housing areas with their stucco veneer, brick accent and deep roof overhangs is appropriate aesthetics of the regions. Detailed analysis of each of the family housing neighborhoods, along with recommendations to improve the housing areas at Holloman AFB may be found in Section 3.3, Community and Infrastructure Improvements. Community Improvements are shown on a community-wide level on the Community Development Plans and, for specific neighborhoods, on the Neighborhood Improvement Plans.

2700-2800 Area contains 190 3- and 4-bedroom single and duplex family units, which are assigned to field grade, senior grade and general officers. 2100 Area is comprised of 101 3- and 4-bedroom new townhouses utilized by enlisted personnel. APPR 50-69 Renovated has 122 2 and 3-bedroom two story multi-plex units. APPR 50-69 Unrenovated has 32 2-, 3- and 4-bedroom two story multi-plex row units. Capehart 2500-2600 contains 240 2-, 3- and 4-bedroom one story duplex units. FY96-02 Replacement has one story duplexes with 2- and 3-bedroom make up and is assigned to JNCO rank. Wherry is made up of two smaller neighborhoods. Wherry 2200-2300 Area is made up of duplexes and four-plexes with 2-, 3-, 4- and 5-bedrooms and assigned to JNCO, SNCO and E-9 ranks. Wherry 2400 Area is made up of 2-, 3- and 4-bedroom duplexes and four-plexes housing for JNCO and SNCO ranks.

4.3.1.1 2700-2800 Area

The 2700-2800 Area at Holloman was constructed in 1959. Renovations were completed on the units in 1993. The area contains one-story single and duplex units. The basic layout of the unit interiors is similar

but the orientation of the unit and the varied locations of the carport/garage create a pleasant streetscape. The exteriors of the units use brick walls mixed with stucco. Brick screen walls are often used to create patio courtyards. The roofs are sloped with large overhangs. Many of the streets have large trees.

4.3.1.2 APPR 50-69

There are two distinct neighborhoods within APPR 50-69: APPR 50-69 Renovated, APPR 50-69 Unrenovated. APPR 50-69 Renovated and Unrenovated was constructed beginning in the late 1950's and completed in 1970. The units in the Renovated and Unrenovated areas are diverse, ranging from older single one story units on a tree lined street to two story multiplex buildings some that have been renovated on a shared parking lot. The materials in these areas are also diverse. The two story units have sloped roofs and stucco and/or board and batten siding.

4.3.1.2.1 2100 Area

The 2100 Area at Holloman AFB is the newest replacement housing on base. This FY03 housing project consist of 3 and 4 bedroom unit types for enlisted personnel.

4.3.1.2.2 APPR 50-69 Renovated

The units were built from 1966 to 1970, and were extensively renovated in 1994. The units are two story multi-plex row units with two and three bedrooms. The exterior of the units are stucco with sloped roofs. The rear of the units has a covered patio and storage area. The units face a large shared parking area. Landscaping is at the entrance and the parking area is minimal.

4.3.1.2.3 APPR 50-69 Unrenovated

The units were built from 1966 to 1970, and have not been renovated. The units are two story multi-plex row units with two, three, and four bedrooms. The exterior of the units is painted board on batten siding with stucco with sloped roofs. The rear of the units has a covered patio and storage area. The living space in the unit faces a large shared parking area.

4.3.1.3 Capehart 2500-2600 Area

The Capehart 2500-2600 Area at Holloman AFB was constructed in 1959. Renovations were completed on the units in 1993. The area contains one-story duplex units. The orientation of the unit is repetitive and creates an average streetscape. The exteriors of the units use brick walls mixed with stucco. Brick screen walls are often used to create patio courtyards. The roofs are sloped with large overhangs. Some of the streets have large trees.

4.3.1.4 FY96-02 Replacement

The units in FY96-02 Replacement are all part of replacement housing projects at Holloman AFB. The existing units were completed in 1996. Construction on additional units was begun in 2001. The units are well sited on curving streets, and cul-de-sacs. The units are one-story duplexes with one-car garages. The exterior is stucco with a sloped roof. The trees within this area are young, and give minimal shade.

4.3.1.5 Wherry

The Wherry Area at Holloman AFB is in two neighborhoods: Wherry 2200-2300, and Wherry 2400. The units were constructed in 1956 and were renovated in 1970. Both areas contain one story single, duplex, and four-plex units. The units are constructed of concrete block, which

is visible on the exterior and the interior. The roofs are primarily hipped with large overhangs.

4.3.1.5.1 Wherry 2200-2300 Area

The units were constructed in 1956 with concrete block walls and flat roofs. During the renovations in 1970 hipped roofs were added to the units. Also at this time many of the garages were converted to living space. Consequently many of the units do not have garages, and there is no separation between the driveway and the unit. The units are not sited to add a garage or expand the parking areas. The duplexes and four-plexes are often long flat facades. This is accentuated by the long hipped roofs. Several of the streets in the area are predominantly four-plexes. The exterior wall is concrete block exposed on the interior and the exterior. All the units have been painted with a single color of beige adding to the monotonous streetscape. The interiors have been painted in a pale yellowish color, which adds to the aged feeling of the units.

Improvements are recommended to cover the concrete block with stucco. Additional trellises and elements should be added to break up the flatness of the street and create a stronger sense of entry. A varied color palette should be used.

4.3.1.5.2 Wherry 2400 Area

The units were constructed in 1956 with concrete block walls and flat roofs. During the renovations in 1970 hipped roofs were added to the units. Also at this time many of the garages were converted to living space. Consequently many of the units do not have garages, and there is no separation between the driveway and the unit. The units are not sited to add a garage or expand the parking areas. The duplexes and four-plexes are often long flat facades. This is accentuated by the long hipped roofs. Several of the streets in the area are predominantly four-plexes. The exterior wall is concrete block exposed on the interior and the exterior. All the units have

been painted with a single color of beige adding to the monotonous streetscape. The interiors have been painted in a pale yellowish color, which adds to the aged feeling of the units.

Improvements are recommended to cover the concrete block with stucco. Additional trellises and elements should be added to break up the flatness of the street and create a stronger sense of entry. A varied color palette should be used.

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4.3.2 2700-2800 Area

2700-2800 Area is composed of single family and duplex ranch style units.

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4.3.2.1 Unit Type CP.3.S 2700-2800 Area Housing

This one-story, three-bedroom single-family unit was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Unit has a detached one car garage.

This unit was unoccupied at time of visit. This unit type has received minor renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.3.S	CP.3.S
Gross Floor Area:	1681 sf	1681 sf
Net Floor Area:	1476 sf	1465 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	FGO	FGO
CAM Rating:	3.60	
FHU Assessed:	2828 Quay Loop	
Number of FHUs of this Type:	31	31

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: sloped roof; good condition; meets minimum 3:12 pitch.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: none; not required for single-family unit.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: brick veneer; fair condition; it appears that 20% of grade is near or above the concrete floor slab and against the brick; water has weeped up the wall carrying the alkali from the soil and transferred it to the brick and mortar; the cause has been deterioration of the mortar and discoloration of the brick; no counter flashing or weep holes visible in the brick.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; incorporated into slab on grade.
- Windows - Frames: aluminum; good condition; oxidation has occurred on the window finish.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; fair condition; the sliding glass door at the Living Room and at the Family Room have oxidation of finish and no secondary locking device.



Right side elevation



Rear elevation



Rear elevation



Kitchen



Bathroom 1

- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; good condition; no dead bolt on exterior door.

Structural - Other Building Elements

- Garage/Carport: single garage; good condition; does not meet minimum clear dimensions by 8" in width; AF standard is two car garage if site allows; site allows single garage.
- Garage Door: fiberglass; good condition; painted.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; good condition; patio at rear of house off of Family Room and at side of house off of the Living Room; both adequately sized.
- Balcony: none; not required.
- Storage Areas: brick; good condition; at the rear of garage with exterior access.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: chain link; fair condition; fencing enclosed rear yard but does not provide proper privacy screening for rear patio.
- Landscaping: grass and trees; fair condition; a few mature trees; only few shrubs in front of house; side yard is all sand.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately nine years old.
- Cooling System - Interior: direct exchange coil; fair condition; unit is approximately nine years old.
- Cooling System - Exterior: direct exchange coil; fair condition; unit is approximately nine years old.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.

- Thermostat: digital; fair condition; painted.

Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; excellent condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: none; required; usual plug-in detector missing; alternating current with battery back-up required.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.



Bathroom 2

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; fair condition; there was a slight shift in the tile layout from the Living to the Dining Room.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; worn finish.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; fair condition; worn finish.
- Doors - Closet: bifold; fair condition; worn finish.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; fair condition; worn finish.
- Interior Hardware: metal; good condition.

- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped with adjacent secondary eating area.

- Cabinets: wood; fair condition; interior finish worn.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; fair condition; worn finish.
- Sink Fixtures: metal; fair condition; worn finish.
- Refrigerator: standard; good condition.
- Range/Oven: gas; fair condition; model dated.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; fair condition.
- Flooring: vinyl composition tile; fair condition; corroded.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; fair condition; worn interior; door finish slightly worn.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; fair condition; worn finish.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; fair condition; loose at toilet.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.

- Ventilation: exhaust fan; fair condition; older unit.
- Interior Hardware: metal; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; fair condition; door finish slightly worn.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; fair condition; worn finish.
- Toilet: porcelain; fair condition; older fixture.
- Tub/Shower: shower; fair condition; ceramic tile surround with glass shower doors; worn grout at drain base.
- Flooring: vinyl composition tile; fair condition; minor water damage.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; fair condition; older unit.
- Interior Hardware: metal; fair condition; additional towel bar needed.

Bathroom #3

None; not required for this unit type.

Laundry Room

- Location: closet; fair condition; inadequate size; adjacent to Kitchen; enclosed with accordion door; noise problems; shared closet with interior storage.
- Flooring: vinyl composition tile; fair condition; worn finish.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.

- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified; roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: this unit is located in EPA Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; driveway does not meet minimum 24-foot length.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main

and house; problems with connection at main and house.

- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house; problems with connections at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

House Plan Suitability

- Bedroom 1: standard; meets minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: above standard; exceeds minimum area and dimension requirements; exceeds closet space requirements; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; exceeds minimum closet space requirements; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; does not meet minimum dimension by 10"; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; inadequate space for secondary dining area; good relationship to living areas, outdoor space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single car garage only (or none); AF standard is two car garage if site allows; majority of sites for this unit type allow

space for two car garage; compatible with house architecture.

- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; inadequate dedicated interior storage is provided by oversized bedroom closets.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions; the front entry door is not visible from the street; lacks visual impact.

RECOMMENDATIONS

Roof

- Roof Structure: Truss, Joist, Insulation: remove existing attic insulation and provide new R-30 fiberglass batt in attic.

Structural - Foundation/Exterior Walls

- Exterior Wall Covering: clean brick veneer at grade and tuck point 200 sf of brick.
- Window - Frames: continue to monitor oxidation of window frames; windows may need future replacement if oxidation continues.
- Sliding Glass Door: replace the living and Family Room doors with new vinyl clad insulated patio doors.
- Door Hardware: provide dead bolt lock for entry door.

Structural - Other Building Elements

- Garage/Carport: see House Plan Suitability.
- Trash Enclosure: provide trash enclosure, see proposed plan.
- Privacy Fence: install new privacy fence at back patio per proposed plan.
- Landscaping: provide climate appropriate shrubs and ground cover around entire unit.

Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 amp minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: install carpet in living areas; provide ceramic tile flooring at entry; see Special Assessments.
- Molding & Trim: replace wood trim.
- Doors - Interior: provide new doors.
- Doors - Closet: provide new doors.
- Closet Shelving: replace shelving with new.

Kitchen

- Cabinets: clean/refinish interior.

- Sink: install new stainless steel double sink.
- Sink Fixture: install new fixture.
- Range/Oven: install new gas range/oven.
- Garbage Disposal: install new garbage disposal.
- Flooring: provide new ceramic tile; see Special Assessments.

Bathroom #1

See House Plan Suitability.

Bathroom #2

- Cabinets: sand/refinish cabinet door.
- Fixture Hardware: install new fixture.
- Toilet: install new toilet.
- Tub/Shower: regROUT shower pan and surround.
- Flooring: provide new ceramic tile; see Special Assessment.
- Ventilation: install new exhaust fan.
- Interior Hardware: install new towel bar.

Bathroom #3

No recommendation.

Laundry Room

See House Plan Suitability.

Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composition tile, cove base and the HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixtures are in good condition.
- Radon: continue to monitor.

- Termites: treat regularly for termite prevention.

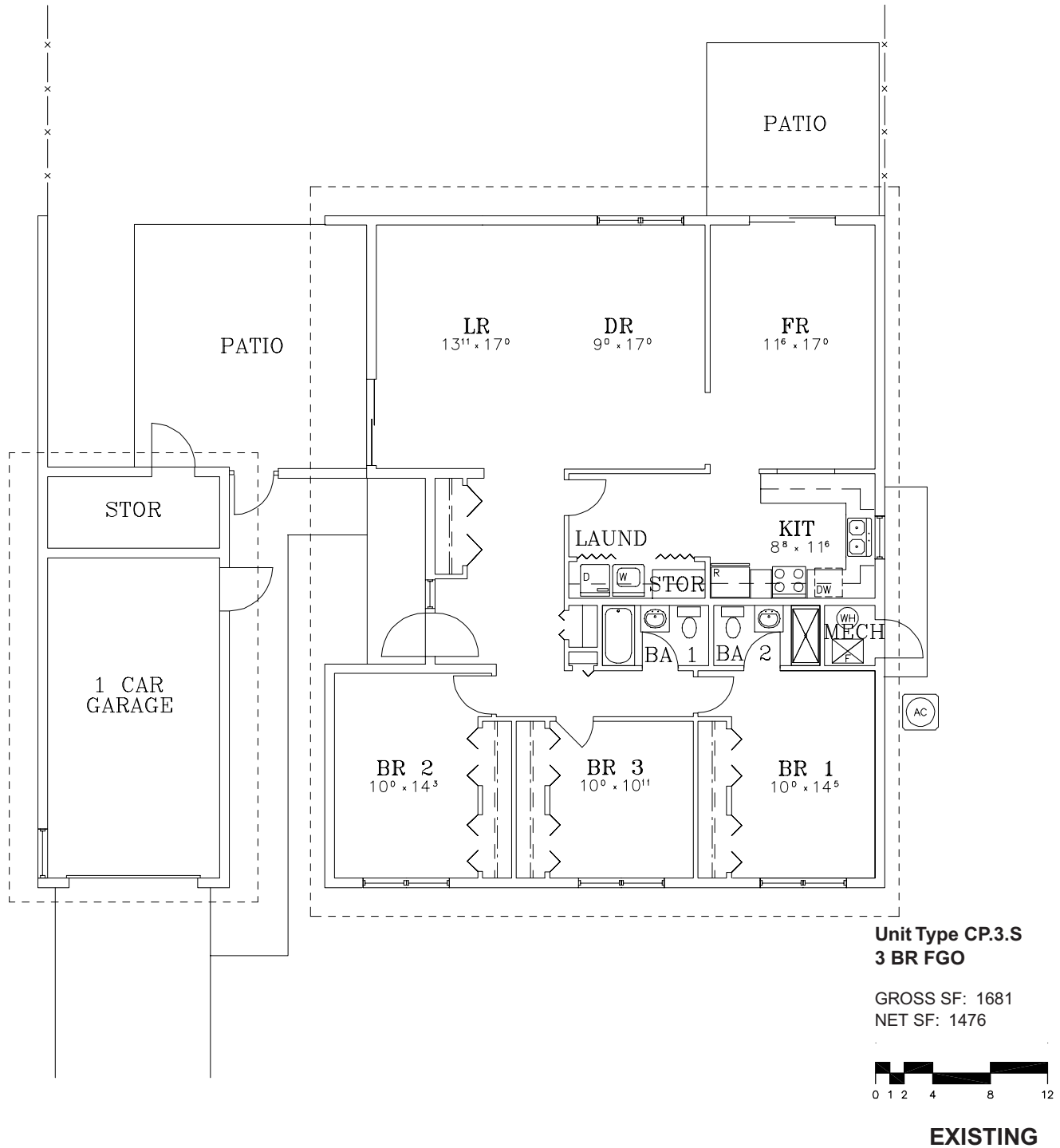
House Sitework

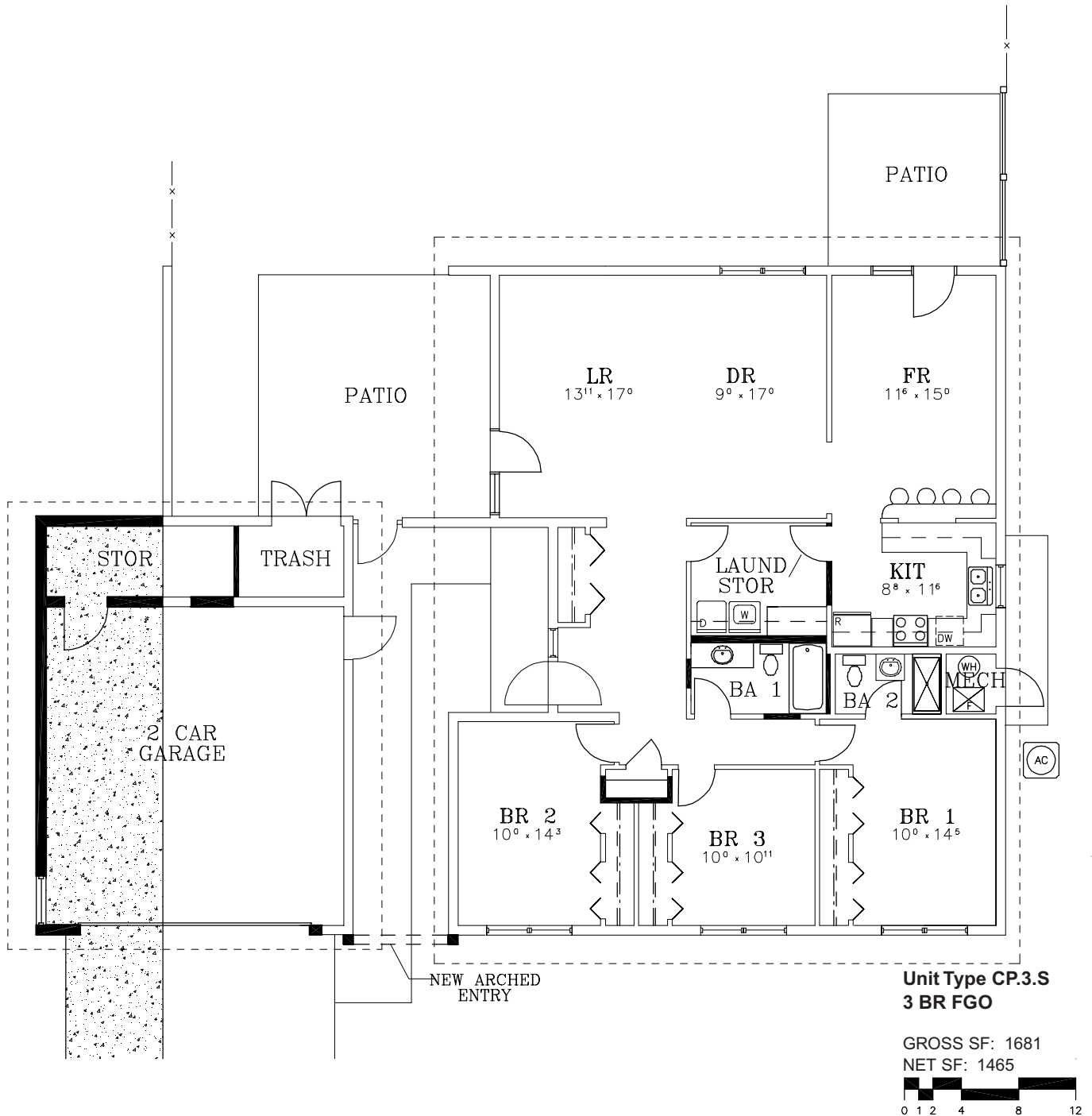
- Driveways to House: due to site constraints lengthening of driveway is not feasible.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service from main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed to provide proper drainage away from foundation.

House Plan Suitability

- Bathroom for Bedroom 1: due to location, expansion of bathroom for increased counter space it is not feasible; no recommendation.
- Bathroom for Bedroom 2,3,4: expand per proposed plan; install new wood vanity with cultured marble sink and new faucet; relocate toilet and tub; provide new ceramic tile tub/shower surround; new ceramic tile flooring; install new exhaust fan; provide duct and exterior louver for exhaust.
- Kitchen: add a counter at pass through for secondary eating area.
- Covered Parking: provide a two car garage and new overhead door with electric opener; widen concrete driveway per proposed plan.
- Overall Floor Plan: expand laundry/storage to create enclosed room; install new vinyl composition tile; relocate linen closet due to the enlargement of Bathroom 1; provide five adjustable shelves in linen closet; per proposed plan.
- Architectural Aesthetics: add window shutters for improved character and detail; add an arched entry between garage and unit to visually improve/define unit entrance.

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4.3.2.1.1 Unit Type CP.3.S

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$2,236
Structural/Foundation/Exterior Walls	\$3,857
Structural/Other Building Elements	\$8,653
Mechanical	\$16,063
Electrical	\$2,116
General/All but Kitchen, Baths, Laundry	\$9,398
Kitchen	\$3,279
Bathroom #1	\$0
Bathroom #2	\$1,874
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,758
House Sitework	\$5,756
House Plan Suitability	\$33,952
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$94,941
ACF (0.98) Adjusted Subtotal	\$93,042
SIOH @3.00%	\$2,791
Contingency @5.00%	\$4,792
Adjusted Subtotal (FY2001\$)	\$100,625
Escalation @3.33%	\$3,351
Total Unit Improvement Cost (FY2003\$)	\$103,976



4.3.2.2 Unit Type CP.3.T 2700-2800 Housing

This one-story, three-bedroom duplex was built in 1959. It is of standard wood frame construction with a slab on grade. Unit has a detached one car carport.

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.3.T	CP.3.T
Gross Floor Area:	1554 sf	1554 sf
Net Floor Area:	1248 sf	1268 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	CGO	CGO
CAM Rating:	3.69	
FHU Assessed:	2721A Socorro Loop	
Number of FHUs of this Type:	42	42

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; good condition.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; brick veneer used as an accent, discolored from alkali in soil on 30% of unit.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition; minor corrosion of window finish from high alkali soil content.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: metal; fair condition; corroded; no secondary locking device.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.



Rear elevation



Left side elevation



Bathroom 1



Kitchen



Bathroom 2

Structural - Other Building Elements

- Garage/Carport: single carport; fair condition; concrete slab has cracked in several places and sections have settled; slab is deteriorating at edges; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required with carport.
- Porch/Stoop: porch; good condition.
- Patio/Deck: concrete; good condition; one patio at rear of house with access from Family Room and one at front of house with access from Dining Room, both adequately sized.
- Balcony: none; not required.
- Storage Areas: concrete masonry unit; good condition; located at rear of house.
- Trash Enclosures: wood; fair condition; residents stored trash on front patio and is visible from Living Room sliding glass doors.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: stucco; fair condition; cracks in stucco; provides adequate privacy from one side.
- Landscaping: grass and trees; fair condition; a few shrubs at front of house only, with mature trees.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately nine years old.
- Cooling System - Interior: direct exchange coil; fair condition; unit is approximately nine years old.
- Cooling System - Exterior: direct exchange coil; fair condition; unit is approximately nine years old.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; fair condition; painted, cover cracked.

Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: bifold; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped with adjacent secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile surround and ceramic tile floor.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #3

None; not required for this unit type.

Laundry Room

- Location: closet; fair condition; inadequate size; adjacent to Kitchen; enclosed with accordion door; noise problems; shared closet with interior storage.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable

by HUD; however, lead has not been found in the interior or wood trim for this unit type.

- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: this unit is located in EPA Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; fair condition; driveway does not meet minimum length of 24 feet.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area by 22 sf and dimension requirements by 6";

closet space exceeds minimum; smoke detector in hall.

- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: substandard; does not meet minimum area by 9 sf and dimension requirements by 7"; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; does not meet minimum dimension by 8", minimal counter.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; inadequate secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: detached single carport only (or none); AF standard is two car garage if site allows; majority of sites for this unit type allow space for two car garage; compatible with house architecture.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; minimum interior storage space.
- Architectural Aesthetics: fair; character suitable for region, location, fair massing; carport at front of unit dominates from the front elevation; front elevation lacks interest.

RECOMMENDATIONS

Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide new R-30 fiberglass batt insulation in attic.

Structural - Foundation/Exterior Walls

- Exterior Wall Covering: clean brick veneer accents.
- Windows - Frames: continue to monitor oxidation of window frames; future window replacement may be required if oxidation continues.
- Doors - Sliding Glass: install new vinyl clad insulated patio doors at living and family rooms.
- Doors - Hardware: install new door hardware and provide dead bolts on exterior doors.

Structural - Other Building Elements

- Garage/Carport: see House Plan Suitability.
- Trash Enclosure: provide new enclosure with concrete slab adjacent to garage; see proposed plan.
- Privacy Fence: install new privacy fencing per proposed plan; repair cracks in stucco and painted wall.
- Landscape: provide climate appropriate landscape around entire unit.

Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.

- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

General - All but Kitchen, Baths, Laundry

No recommendation.

Kitchen

No recommendation.

Bathroom #1

See House Plan Suitability.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

See House Plan Suitability.

Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; vinyl composition tile and cove base appear to have been recently installed and are in good condition; gypsum wall board has been encapsulated with paint; light fixtures are in good condition; remove HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

House Sitework

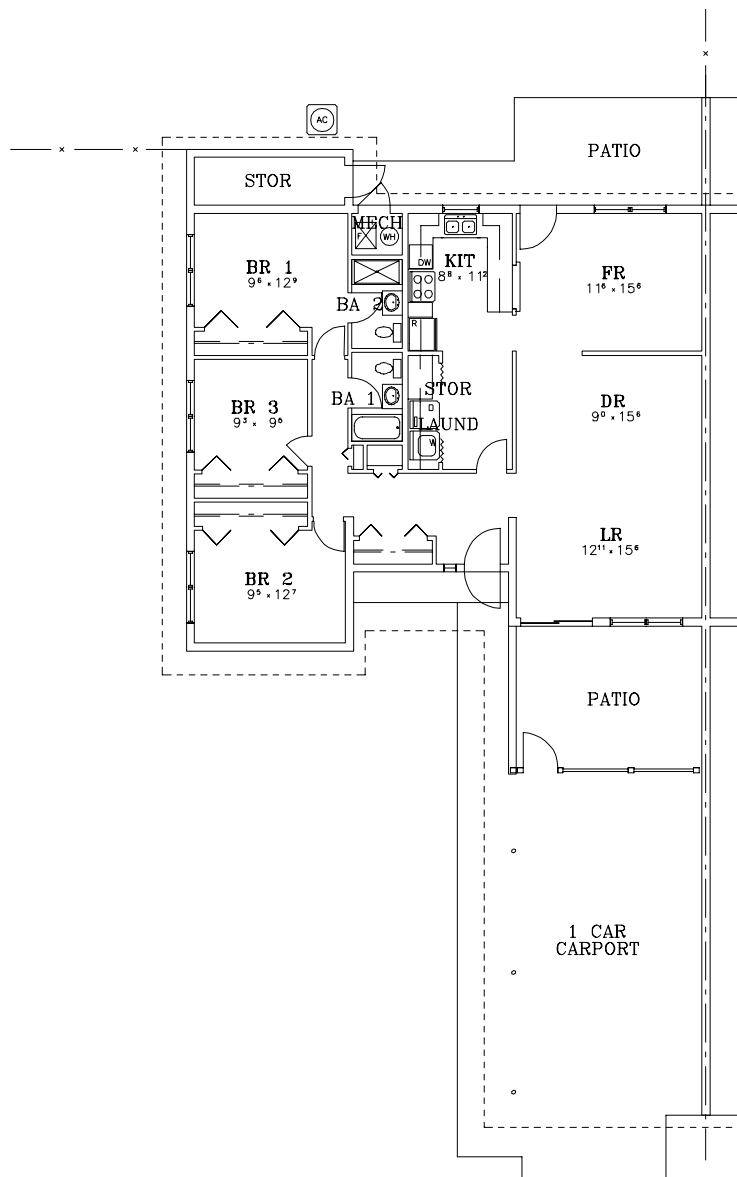
- Driveway to House: space does not exist to expand driveway.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed around entire unit to a minimum slope of 1" per foot.

House Plan Suitability

- Bedroom 1: relocate closet; expand per proposed plan.

- Bedroom 2: reconfigure closet for Bedroom 3 to expand Bedroom 2.
- Bathroom for Bedroom 2,3,4: expand to meet minimum dimensions per proposed plan; provide new wood vanity with cultured marble counter, molded bowl and new fixture hardware; relocate toilet and tub; provide new ceramic tile tub/shower surround; provide new ceramic tile flooring; patch/repair gypsum wall board walls and ceiling, see Special Assessments; paint walls and ceiling and provide new toilet accessories.
- Kitchen: provide counter between Kitchen and Family Room for secondary eating area.
- Covered Parking: provide a two car garage and new overhead door with electric opener; widen concrete driveway and relocate concrete walk from driveway to unit per proposed plan.
- Overall Floor Plan: enclose laundry to provide additional area for interior storage; relocate plumbing hookup; provide linen closet with 4 adjustable shelves.
- Architectural Aesthetics: add new window to front elevation of Bedroom 2; add columns and railing at front porch to enhance entry.

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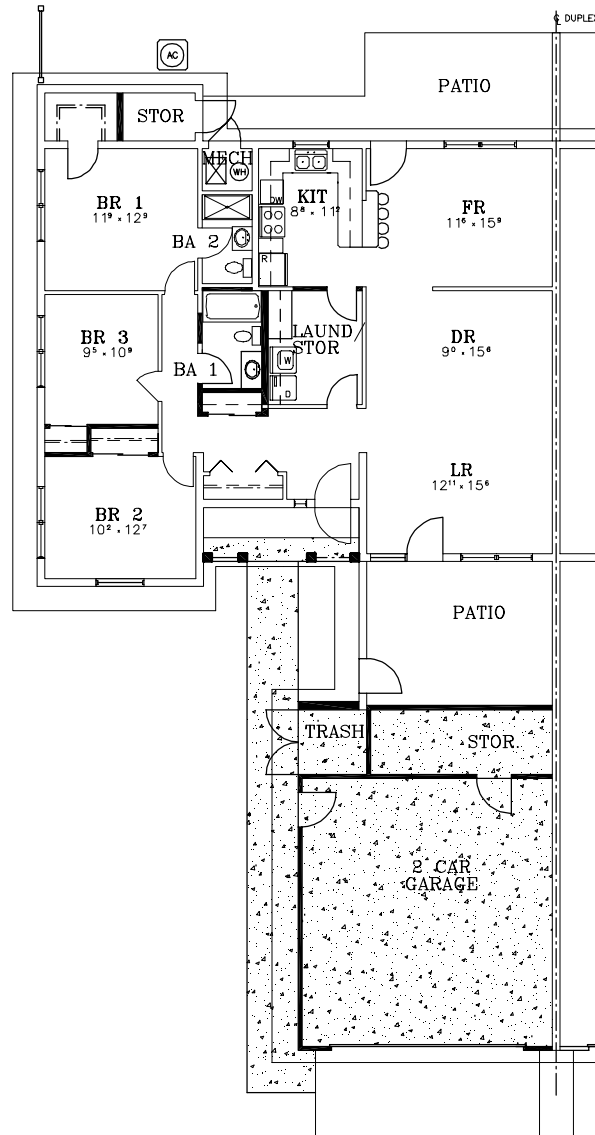


Unit Type CP.3.T
3 BR CGO

GROSS SF: 1554
NET SF: 1248



EXISTING

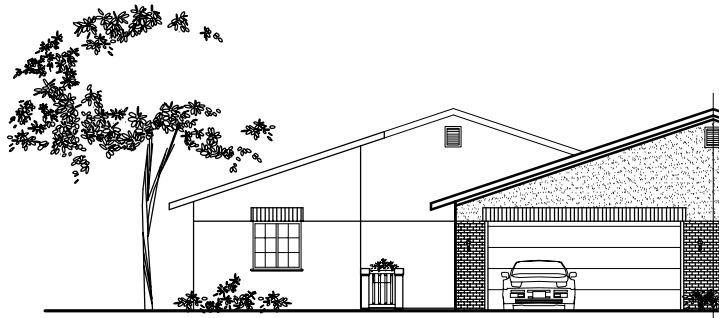


Unit Type CP.3.T
3 BR CGO

GROSS SF: 1554
 NET SF: 1268



PROPOSED



FRONT ELEVATION

Unit Type CP.3.T
3 BR CGO

GROSS SF: 1554
NET SF: 1268



PROPOSED

4.3.2.2.1 Unit Type CP.3.T

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$2,067
Structural/Foundation/Exterior Walls	\$3,191
Structural/Other Building Elements	\$12,276
Mechanical	\$14,427
Electrical	\$2,116
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,686
House Sitework	\$6,102
House Plan Suitability	\$44,546
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$92,410
ACF (0.98) Adjusted Subtotal	\$90,562
SIOH @3.00%	\$2,717
Contingency @5.00%	\$4,664
Adjusted Subtotal (FY2001\$)	\$97,943
Escalation @3.33%	\$3,262
Total Unit Improvement Cost (FY2003\$)	\$101,204

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4.3.2.3 Unit Type CP.3.U 2700-2800 Area

This one-story, three-bedroom single-family unit with a detached single car garage was built in 1959. It is of standard wood frame construction with a concrete slab on grade.

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.3.U	CP.3.U
Gross Floor Area:	1713 sf	1713 sf
Net Floor Area:	1456 sf	1445 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	FGO	FGO
CAM Rating:	3.66	
FHU Assessed:	2728 Socorro Loop	
Number of FHUs of this Type:	9	9

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; good condition.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: none; not required for single-family unit.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: brick veneer; fair condition; deteriorating 25% of mortar joints; stucco is in good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition; minor corrosion of window finish from high alkali soil content.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; good condition; no secondary locking device.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.



Right side elevation



Rear elevation



Left side elevation



Kitchen



Bathroom 1

Structural - Other Building Elements

- Garage/Carport: single garage; good condition; meets minimum dimensions; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: fiberglass; good condition.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; good condition; one at rear of house with access from Family Room and one at front of house between Living Room and garage, both adequately sized.
- Balcony: none; not required.
- Storage Areas: concrete masonry unit; good condition; located at rear of house.
- Trash Enclosures: wood; fair condition; located at patio between Living Room and garage visible from Living Room sliding glass door.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: chain link; fair condition; fencing does not provide screening for rear patio at one side of house; wood fencing is in poor condition at patio adjacent to Living Room.
- Landscaping: grass and trees; fair condition; mature trees provide shade with plantings and shrubs; no landscaping at rear or side yards.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately nine years old.
- Cooling System - Interior: direct exchange coil; fair condition; unit is approximately nine years old.
- Cooling System - Exterior: direct exchange coil; fair condition; unit is approximately nine years old.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.

- Thermostat: digital; fair condition; painted; cover cracked.

Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current, good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; poor condition; damaged.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: bifold; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.
- Interior Hardware: metal; good condition.



Bathroom 2

- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped with adjacent secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless steel, double; good condition.
- Sink Fixtures: brass; good condition.
- Refrigerator: two door; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: brass; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; fair condition; end of useful life.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; fair condition; worn finish.

Bathroom #3

None; not required for this unit type.

Laundry Room

- Location: closet; fair condition; inadequate size; closet adjacent to Kitchen; shared closet with interior storage.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; test indicate no lead in the water.

- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material; floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; fair condition; driveway does not meet minimum length.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area by 10 sf and dimension requirements by 6"; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: above standard; exceeds minimum area; does not meet minimal dimension requirements by 5"; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; does not meet minimum dimension by 2"; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; inadequate secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: detached single car garage only (or none); AF standard is two car garage if site allows; majority of sites for this unit type allow space for two car garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; minimal interior storage provided in oversized bedroom closets.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions; entry lacks visual impact.

RECOMMENDATIONS

Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt insulation in attic.

Structural - Foundation/Exterior Walls

- Exterior Wall Covering: remove mortar, tuck point and clean brick in areas requiring maintenance.
- Windows - Frames: continue to monitor corrosion of frames; future window replacement may be required if corrosion continues.
- Doors - Sliding Glass: provide new secondary locking device.
- Doors - Hardware: install dead bolt on entry doors.

Structural - Other Building Elements

- Trash Enclosure: provide enclosure with concrete slab adjacent to garage per proposed plan.
- Privacy Fence: provide new privacy fencing to screen patios.
- Landscaping: provide climate appropriate landscape at side and rear yards.

Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.

- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized /insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.
- Light Switches: replace light switches.

General - All but Kitchen, Baths, Laundry

No recommendation.

Kitchen

No recommendation.

Bathroom #1

See House Plan Suitability.

Bathroom #2

- Fixture Hardware: provide new fixture hardware.
- Interior Hardware: install new toilet accessories.

Bathroom #3

No recommendation.

Laundry Room

See House Plan Suitability.

Special Assessments

- Lead Based Paint: test for lead base paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; vinyl composition tile and cove base appear to have been recently installed and are in good condition; gypsum wall board has been encapsulated with paint; light fixtures are in good condition; remove HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

House Sitework

- Driveway to House: due to site constraints lengthening of driveway is not feasible.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service: Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service from main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: provide fill soil and grass seed around entire unit; regrade away from foundation with 1:8 slope minimum.

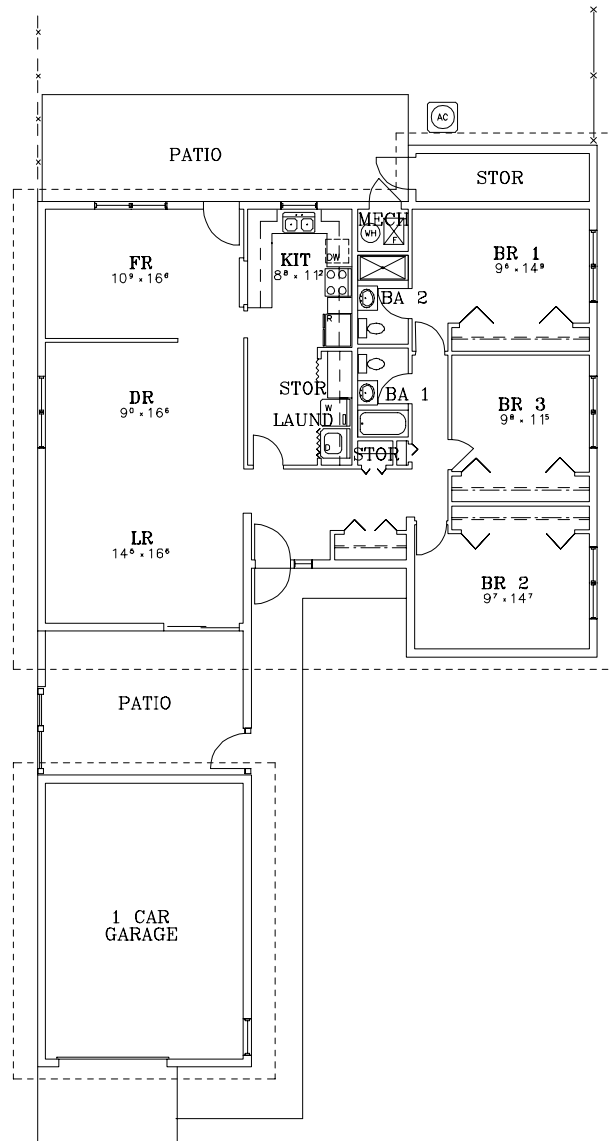
House Plan Suitability

- Bedroom 1: relocate closet and expand per proposed plan.
- Bathroom for Bedroom 1: due to location, expansion of bathroom for additional counter space is not recommended.
- Bedroom 2: bedroom exceeds sf requirements and is only 5 inches deficient in required width; it is

not practical to provide an addition or reduce closet space; no recommendation.

- Bathroom for Bedroom 2,3,4: expand to meet requirements; see proposed plan; provide new wood vanity with cultured marble counter, molded bowl and fixture hardware; relocate toilet and tub; provide new ceramic tile tub/shower surround; provide new ceramic tile flooring; patch/repair gypsum wall board walls and ceiling, see Special Assessments; paint walls and ceiling and provide new toilet accessories.
- Kitchen: provide counter between Kitchen and Family Room for secondary eating area.
- Covered Parking: add two-car garage per proposed plan; provide concrete slab and side walk; provide new insulated fiberglass garage door with opener; enlarge drive; per proposed plan.
- Overall Floor Plan: provide laundry/storage room; relocate plumbing hookup and vent hookup; provide wood wall cabinets over washer and dryer; provide new linen closet; provide 5 adjustable shelves and hardware; see proposed plan.
- Architectural Aesthetics: add new window to front elevation of Bedroom 2; add new arched entry with columns and railing and increase front porch for an inviting entry.

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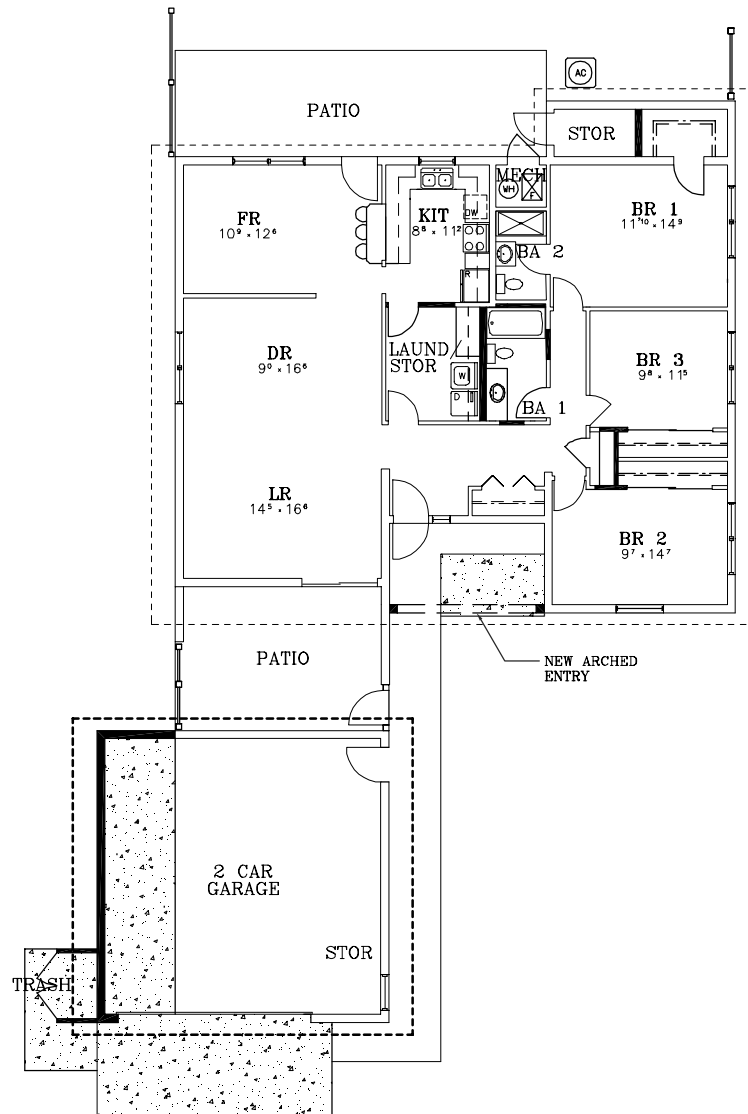


Unit Type CP.3.U
3 BR FGO

GROSS SF: 1713
NET SF: 1456



EXISTING



Unit Type CP.3.U
3 BR FGO

GROSS SF: 1713
 NET SF: 1445



PROPOSED



FRONT ELEVATION

Unit Type CP.3.U
3 BR FGO

GROSS SF: 1713
NET SF: 1445



PROPOSED

4.3.2.3.1 Unit Type CP.3.U**Improvement Cost Summary****Base Name: Holloman Air Force Base**

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$2,278
Structural/Foundation/Exterior Walls	\$2,983
Structural/Other Building Elements	\$5,419
Mechanical	\$15,007
Electrical	\$2,877
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$809
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,776
House Sitework	\$5,640
House Plan Suitability	\$30,195
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$72,984
ACF (0.98) Adjusted Subtotal	\$71,525
SIOH @3.00%	\$2,146
Contingency @5.00%	\$3,684
Adjusted Subtotal (FY2001\$)	\$77,354
Escalation @3.33%	\$2,576
Total Unit Improvement Cost (FY2003\$)	\$79,930

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4.3.2.4 Unit Type CP.3.V 2700-2800 Area

This one-story, three-bedroom duplex was built in 1959. It is of standard wood frame construction with a concrete slab on grade. Unit has a detached one car carport.

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.3.V	CP.3.V
Gross Floor Area:	1551 sf	1551 sf
Net Floor Area:	1326 sf	1276 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	CGO	CGO
CAM Rating:	3.61	
FHU Assessed:	2768B Sandoval Loop	
Number of FHUs of this Type:	38	

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood trusses; good condition; approximately 8-inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; good condition; shingles are approximately ten years old.
- Roof Pitch: sloped; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; fair condition; gutter at the rear of the unit is bent/damaged.
- Chimneys: none; not required.
- Fire Walls: stucco; good condition.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; fair condition; minor cracks over 10% of exterior; brick in fair condition; brick is discolored at bottom 1/3 of entire unit.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows meet minimum egress requirements.
- Windows - Screens: aluminum, good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: metal; fair condition; at family and living rooms; frame corroded; no secondary locking devices.
- Doors - Storm/Screen: none; required.
- Doors - Hardware: brass; fair condition; entry door does not have dead bolt.



Right side elevation



Rear elevation



Kitchen



Bathroom 1

Structural - Other Building Elements

- Garage/Carport: single carport; good condition; meets minimum dimension; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; not required with carport.
- Porch/Stoop: porch; good condition; main entry located on the side of unit; front door is not visible from street.
- Patio/Deck: concrete; excellent condition; oversized patio; adjacent to the Living Room and provides excellent outdoor living area; secondary patio is adjacent to Dining Room; proper screening not provided.
- Balcony: none; not required.
- Storage Areas: located behind the carport; good condition.
- Trash Enclosures: none; required; occupants used the patio adjacent to Living Room; trash not properly screened from Living Room sliding glass door.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: none; required.
- Landscaping: grass and trees; fair condition; sparsely spaced plantings, mature trees.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; excessive blower noise.
- Cooling System - Interior: direct exchange coil; fair condition; insufficient tubing insulation.
- Cooling System - Exterior: direct exchange coil; fair condition; some corrosion at base.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.

- Thermostat: digital; fair condition; painted; cover cracked.

Electrical

- Electrical Panel: 100 amp; poor condition; located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; fair condition; need minor maintenance and repair.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; fair condition; worn; some mismatched tile.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition; textured finish.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition; textured finish.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; multiple coats of paint.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; fair condition; stain slightly worn.



Bathroom 2

- Doors - Closet: bifold; fair condition; stain slightly worn.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; fair condition; needs additional support brackets.
- Interior Hardware: metal; fair condition; worn finish.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped, no secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: gypsum wall board; good condition.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; fair condition; tile damaged at door way.
- Walls: gypsum wall board; good condition.

- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; fair condition; slight wear at towel bars.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile enclosure with glass door.
- Flooring: vinyl composition tile; fair condition; damage at doorway.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #3

None; not required for this unit type.

Laundry Room

- Location: closet; fair condition; inadequate size; enclosed by accordion doors adjacent to Kitchen; problems with noise and moisture.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.

- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint content is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in EPA Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; fair condition; does not accommodate two car spaces.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.

- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; grade does not meet minimum slope away from foundations; foundation is not 8-inches above grade.

House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area by 8 sf; meets minimum dimension requirement; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: above standard; exceeds minimum area requirement but does not meet minimum dimension requirement by 6 inches; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; does not meet minimum dimensions by 8"; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: substandard; meets minimum area requirements; does not meet minimum dimension requirements by 2 inches; good relationship to living areas, natural light; no secondary dining area.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single carport only (or none); AF standard is two car garage if site allows; majority of sites for this unit type allow space for

two car garage; carport compatible with house architecture.

- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationship; appropriate egress.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions; the front entry door is not visible from the street; lacks visual impact.

RECOMMENDATIONS

Roof

- Gutters and Downspouts: replace bent/damage gutter.

Structural - Foundation/Exterior Walls

- Exterior Wall Covering: repair minor cracks and paint stucco on entire unit; clean brick.
- Door - Sliding Glass: replace living and Family Room doors with new vinyl clad insulated patio doors.
- Door - Storm/Screen: provide new aluminum screen/storm door.
- Door Hardware: install dead bolt on entry door.

Structural - Other Building Elements

- Porch/Stoop: not feasible to relocate main entry stoop.
- Patio/Deck: see Privacy Fencing.
- Trash Enclosure: provide separate enclosure for trash.
- Privacy Fencing: provide fence to screen patio.
- Landscaping: provide climate appropriate landscape at base of building.

Mechanical

- Gas Service: replace building gas service with steel piping.

- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- Receptacles: replace approximately 8 damaged receptacles.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp, make integral to new electric panel.

General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: provide carpet/pad in living areas; ceramic tile at entry; see Special Assessments.
- Molding & Trim: install new wood base and door casing.
- Door - Interior: refinish doors to match trim.
- Doors - Closet: refinish doors to match trim.
- Closet Shelving: provide new additional support bracket to closet shelves.
- Interior Hardware: install new hardware on all interior doors.

Kitchen

No recommendation.

Bathroom #1

See House Plan Suitability.

Bathroom #2

- Flooring: install new ceramic tile and base; see Special Assessments.

Bathroom #3

No recommendation.

Laundry Room

See House Plan Suitability.

Special Assessments

- Lead Based Paint: test for lead base paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composition tile, cove base and the HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixtures are in good condition.
- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

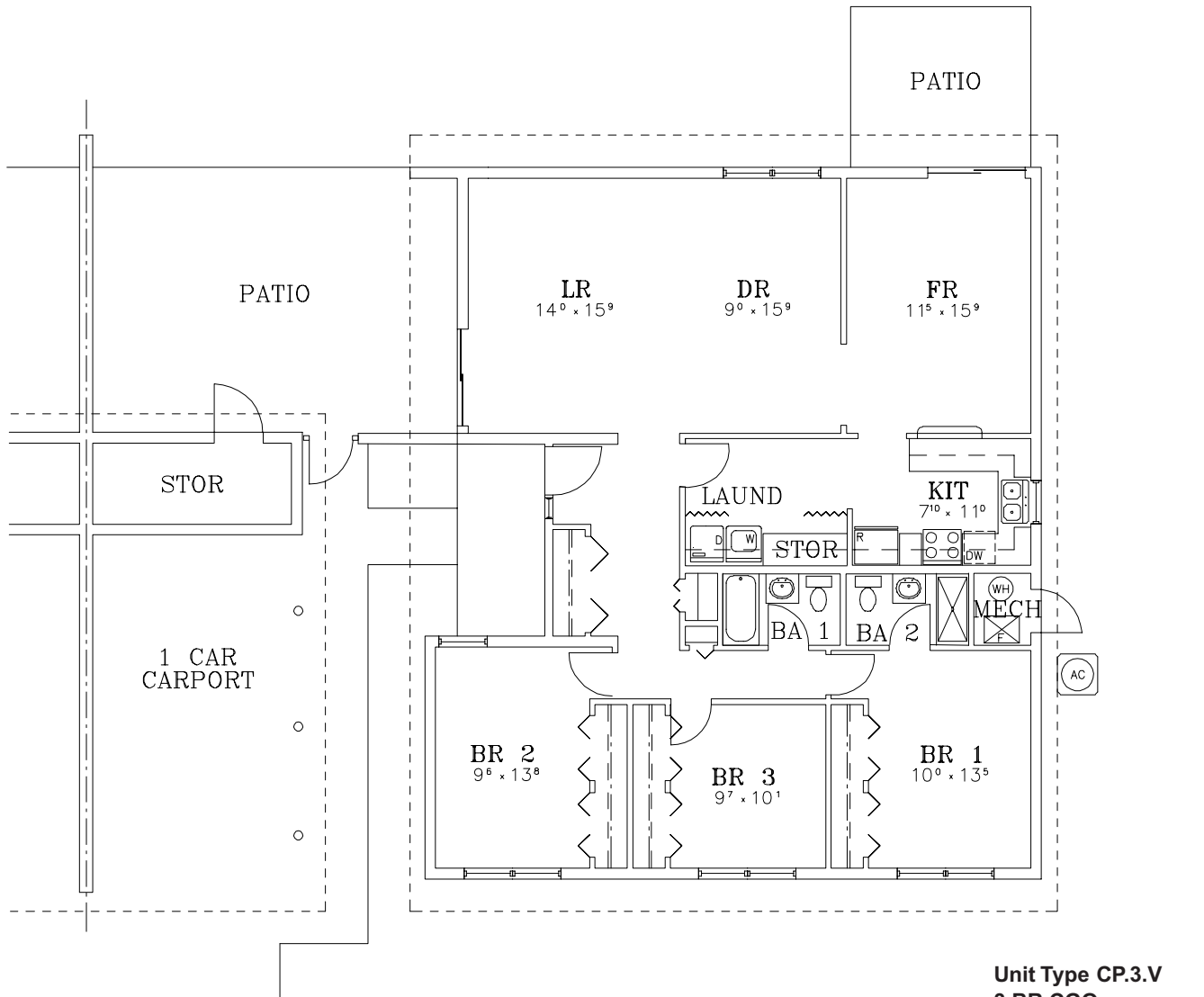
House Sitework

- Driveways to House: due to site constraints lengthening the existing driveway is not recommended.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service: Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service from main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading: regrade and seed to provide proper drainage from foundation.

House Plan Suitability

- Bedroom 1: bedroom is only 8 sf deficient in required area; it is not practical to provide an addition or reduce closet space; no recommendation.
- Bathroom for Bedroom 1: due to location, expansion of Bathroom 2 for additional counter space is not recommended.
- Bathroom for Bedroom 2,3,4: expand bathroom per proposed plan; provide new wood vanity with cultured marble counter top, molded bowl and faucet; relocate toilet and tub; provide new ceramic tile tub surround and new ceramic tile floor and base, see Special Assessments; patch/repair gypsum board walls and ceiling; paint walls and ceiling; provide new interior hardware.
- Kitchen: provide new counter for secondary eating area; it is not practical to expand Kitchen.
- Covered Parking: provide a two car garage and new overhead door with electric opener; remove existing masonry wall between carports and enclosure for two car garage for unit shown; adjacent unit will have two car garage provided at opposite end of unit.
- Overall Floor Plan: provide separate laundry and interior storage rooms; relocate plumbing and vent hookup; provide new linen closet with five adjustable shelves per proposed plan.
- Architectural Aesthetics: add window shutters for improved character and detail; add an arched entry

between garage and unit to visually improve/define unit entrance.

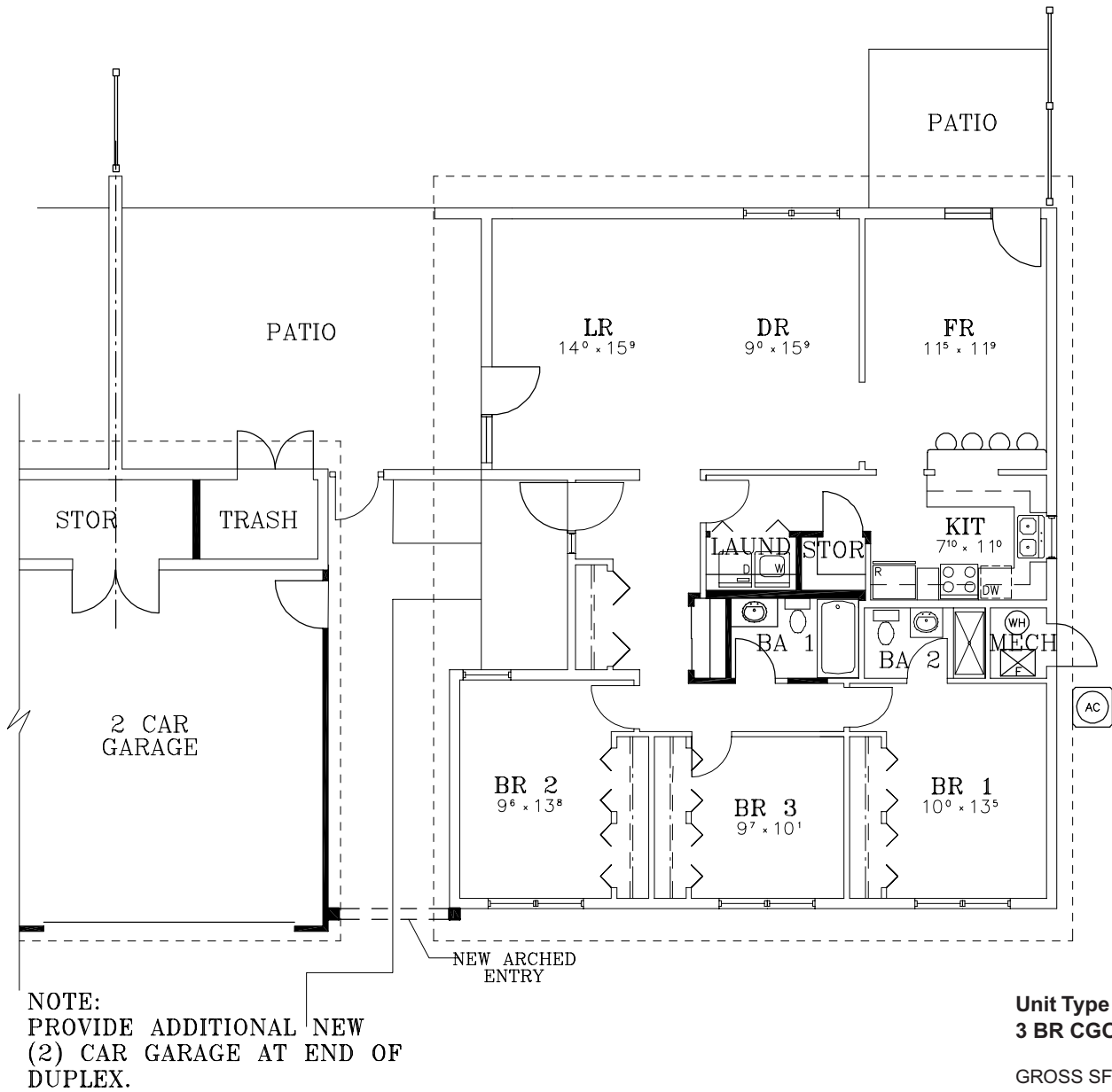


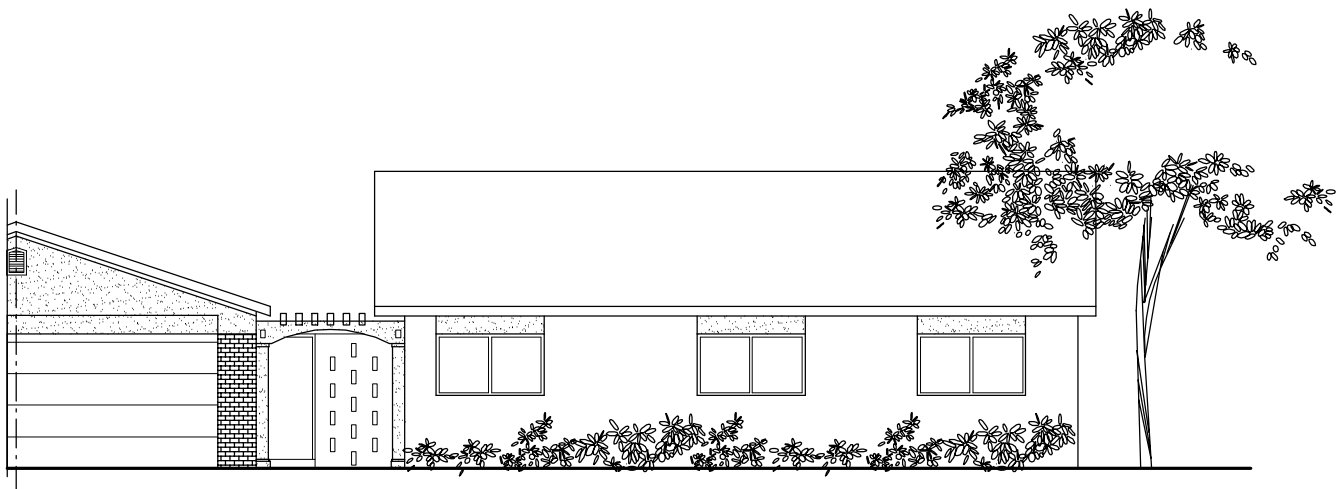
Unit Type CP.3.V
3 BR CGO

GROSS SF: 1551
NET SF: 1326



EXISTING

**PROPOSED**



FRONT ELEVATION

Unit Type CP.3.V
3 BR CGO

GROSS SF: 1551
NET SF: 1276



PROPOSED

4.3.2.4.1 Unit Type CP.3.V

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$675
Structural/Foundation/Exterior Walls	\$5,721
Structural/Other Building Elements	\$6,356
Mechanical	\$14,058
Electrical	\$2,564
General/All but Kitchen, Baths, Laundry	\$9,214
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$293
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,684
House Sitework	\$5,294
House Plan Suitability	\$40,398
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$92,257
ACF (0.98) Adjusted Subtotal	\$90,412
SIOH @3.00%	\$2,712
Contingency @5.00%	\$4,656
Adjusted Subtotal (FY2001\$)	\$97,781
Escalation @3.33%	\$3,256
Total Unit Improvement Cost (FY2003\$)	\$101,037

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4.3.2.5 Unit Type CP.3.W 2700-2800 Area

This one-story, three-bedroom duplex was built in 1966. It is of standard wood frame construction with a concrete slab on grade. This unit has an attached one car carport.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

There are 2 FGO and 4 CGO 3 BR units of this type in this neighborhood.

	Existing	Proposed
Floor Plan Type:	CP.3.W	CP.3.W
Gross Floor Area:	1671 sf	1671 sf
Net Floor Area:	1400 sf	1413 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	FGO/CGO	FGO/CGO
CAM Rating:	3.70	
FHU Assessed:	2789A Sacramento Court	
Number of FHUs of this Type:	6	6

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; good condition.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: gypsum wall board; good condition.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; brick veneer accent in good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition; minor corrosion of window finish from high alkali soil content.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; fair condition; at family and dining rooms; no secondary locking devices.
- Doors - Storm/Screen: none; required; screen door at laundry/storage; poor condition.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.



Right side elevation



Rear elevation



Left side elevation



Kitchen



Bathroom #1

Structural - Other Building Elements

- Garage/Carport: single carport; good condition; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Porch/Stoop: porch; good condition.
- Patio/Deck: concrete; good condition; one patio at rear of house with access from Dining Room and one at side of house with access from Family Room; both adequately sized.
- Balcony: none; not required.
- Storage Areas: concrete masonry unit; good condition; located adjacent to carport.
- Trash Enclosures: wood; fair condition; wood fencing screens trash from carport and front of house; trash visible from Family Room sliding glass door.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; fencing rear property line and one side of rear yard; screens from street; no screening from adjacent unit.
- Landscaping: grass and trees; fair condition; a few shrubs at front of house only; with mature trees.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately eight years old.
- Cooling System - Interior: direct exchange coil; fair condition; unit is approximately eight years old.
- Cooling System - Exterior: direct exchange coil; fair condition; unit is approximately eight years old.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.

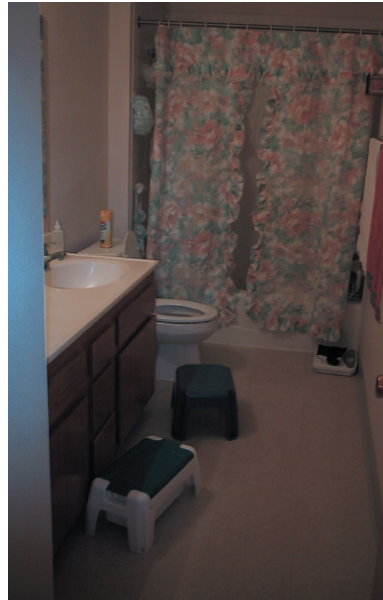
- Thermostat: digital; fair condition; painted; cover cracked.

Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; poor condition; plugged-in type removed by tenant; AF standard requires a hard-wired CO detector with battery back-up at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: metal; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.



Bathroom 2